



Mayor  
Francis Suarez

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Alex Diaz de la Portilla

Chairman - D2 Commissioner  
Sabina Covo

D3 Commissioner  
Joe Carollo

D4 Commissioner  
Manolo Reyes

D5 Commissioner  
Christine King

City Manager  
Arthur Noriega

# CITY OF MIAMI

OFFICE OF CAPITAL IMPROVEMENTS

Hector Badia, Director

## FLAGLER WORKER'S HOUSE (PALM COTTAGE) RESTORATION

CITY OF MIAMI PROJECT B-193404  
60-64 SE 4TH STREET, MIAMI, FL 33131  
CONSTRUCTION DOCUMENT PROGRESS SET - 12-10-23



FLAGLER WORKER'S  
HOUSE AT FORT  
DALLAS PARK

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
CITY OF MIAMI  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

### PROJECT TEAM



PRIME CONSULTANT & STRUCTURAL ENGINEER  
5757 WATERFORD DISTRICT DRIVE, SUITE 255  
MIAMI, FLORIDA 33126  
TEL: 305-461-3450

### BISCAYNE ENGINEERING

SURVEYOR  
529 WEST FLAGLER STREET,  
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### EMTec CORPORATION

MECHANICAL ELECTRICAL AND PLUMBING ENGINEERS  
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### RJ HEISENBOTTE

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FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

COVER SHEET, LOCATION  
PLAN, PROJECT SITE AND  
DRAWING INDEX

PROJECT NO. B-193404  
DRAWING NO.

G-0



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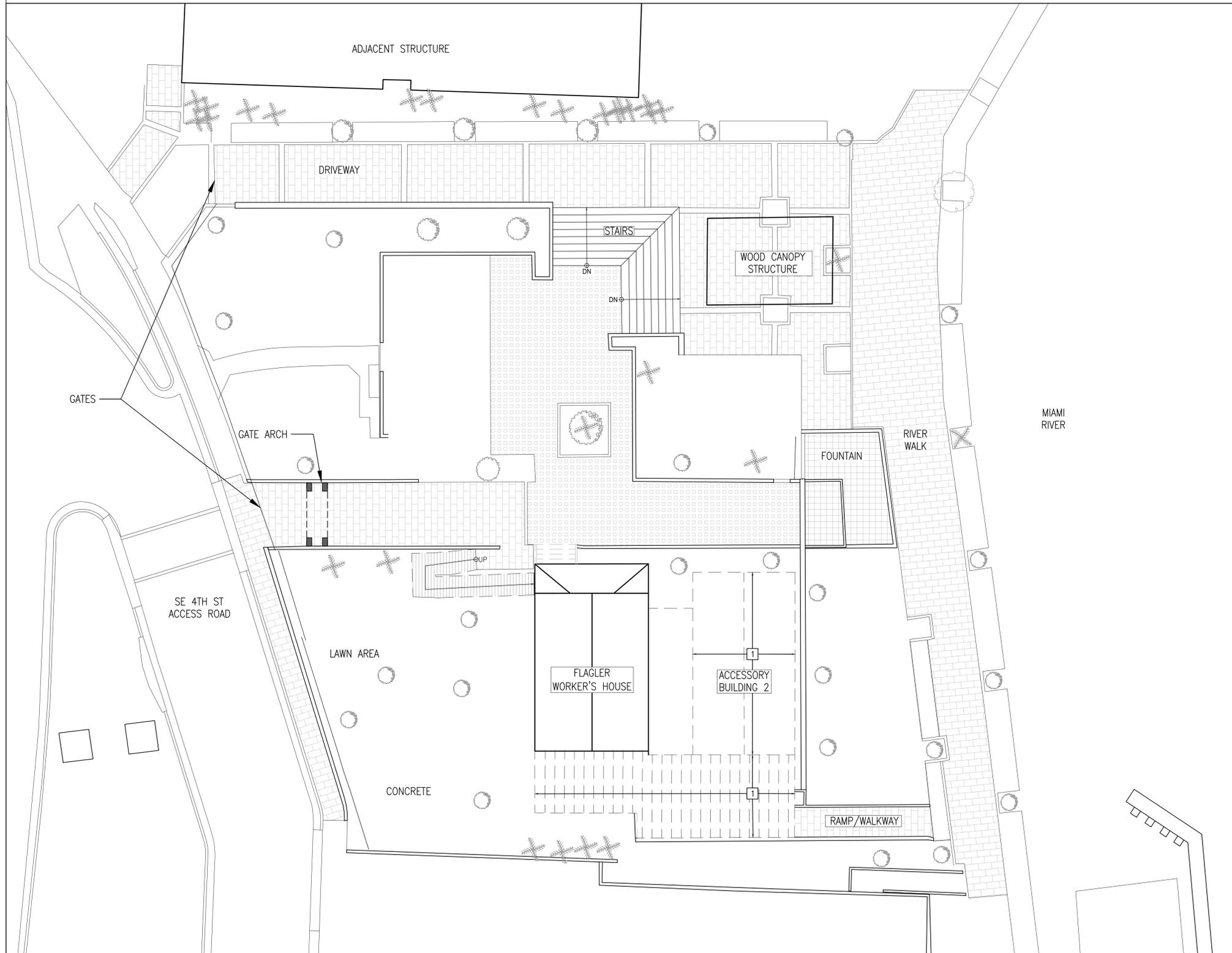
FLAGLER WORKER'S HOUSE  
LOCATION



LOCATION MAP

N.T.S.





	INDICATES EXISTING PALM TREES
	INDICATES EXISTING TREE
	INDICATES EXISTING PAVER AREA AND SIDEWALKS
	EXISTING TO BE REMOVED INCLUDING FOUNDATIONS
	EXISTING TO REMAIN

**1 SELECTIVE DEMOLITION ARCHITECTURAL SITE PLAN**  
 SCALE: 3/32" = 1'-0"

**2 LEGEND**



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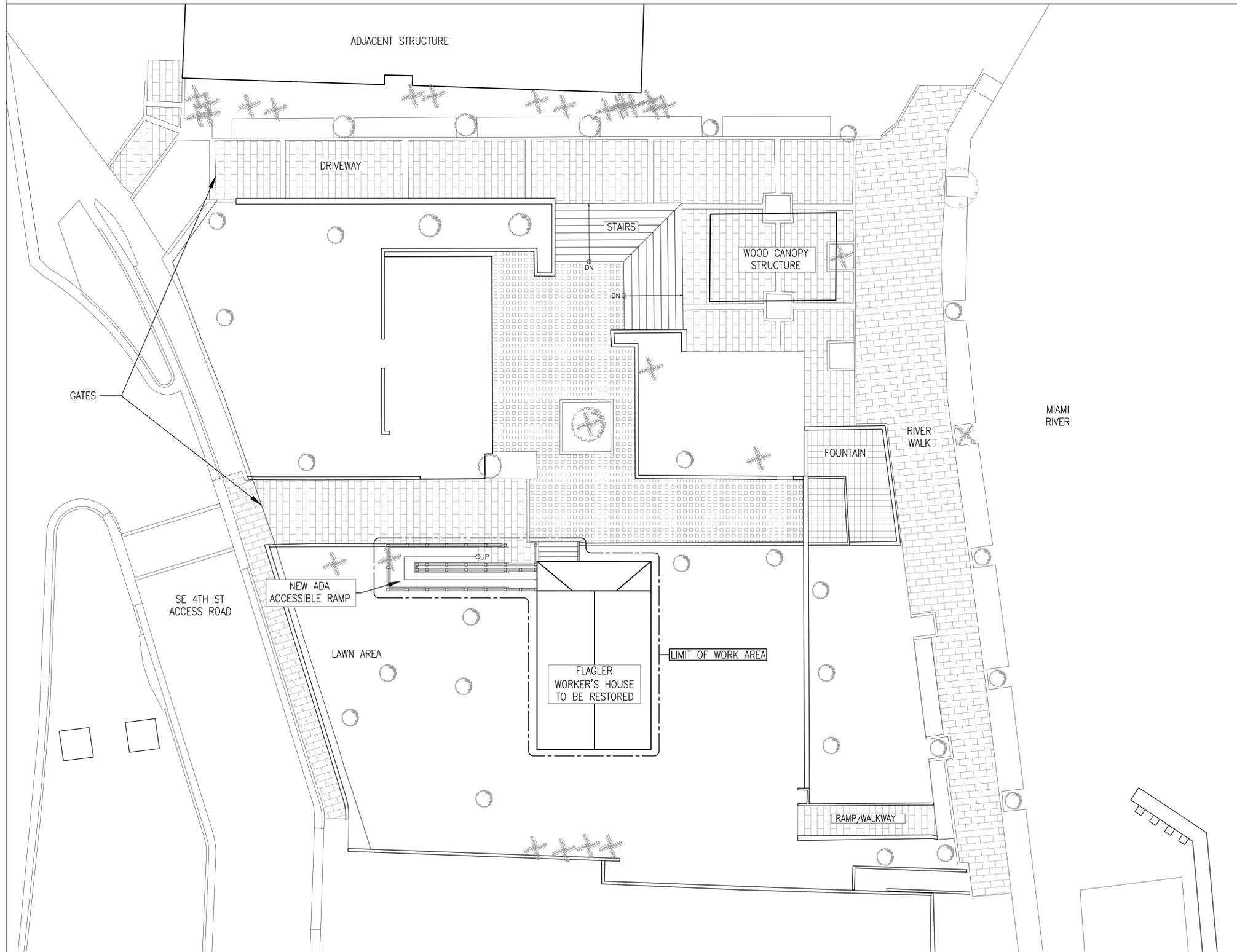
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SHEET TITLE

**EXISTING/SELECTIVE DEMOLITION ARCHITECTURAL SITE PLAN**

PROJECT NO. B-193404  
 DRAWING NO.

A1.00



	INDICATES EXISTING PALM TREES
	INDICATES EXISTING TREE
	INDICATES EXISTING PAVER AREA AND SIDEWALKS
	EXISTING TO BE REMOVED INCLUDING FOUNDATIONS
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**1** PROPOSED ARCHITECTURAL SITE PLAN  
SCALE: 3/32" = 1'-0"

**2** LEGEND



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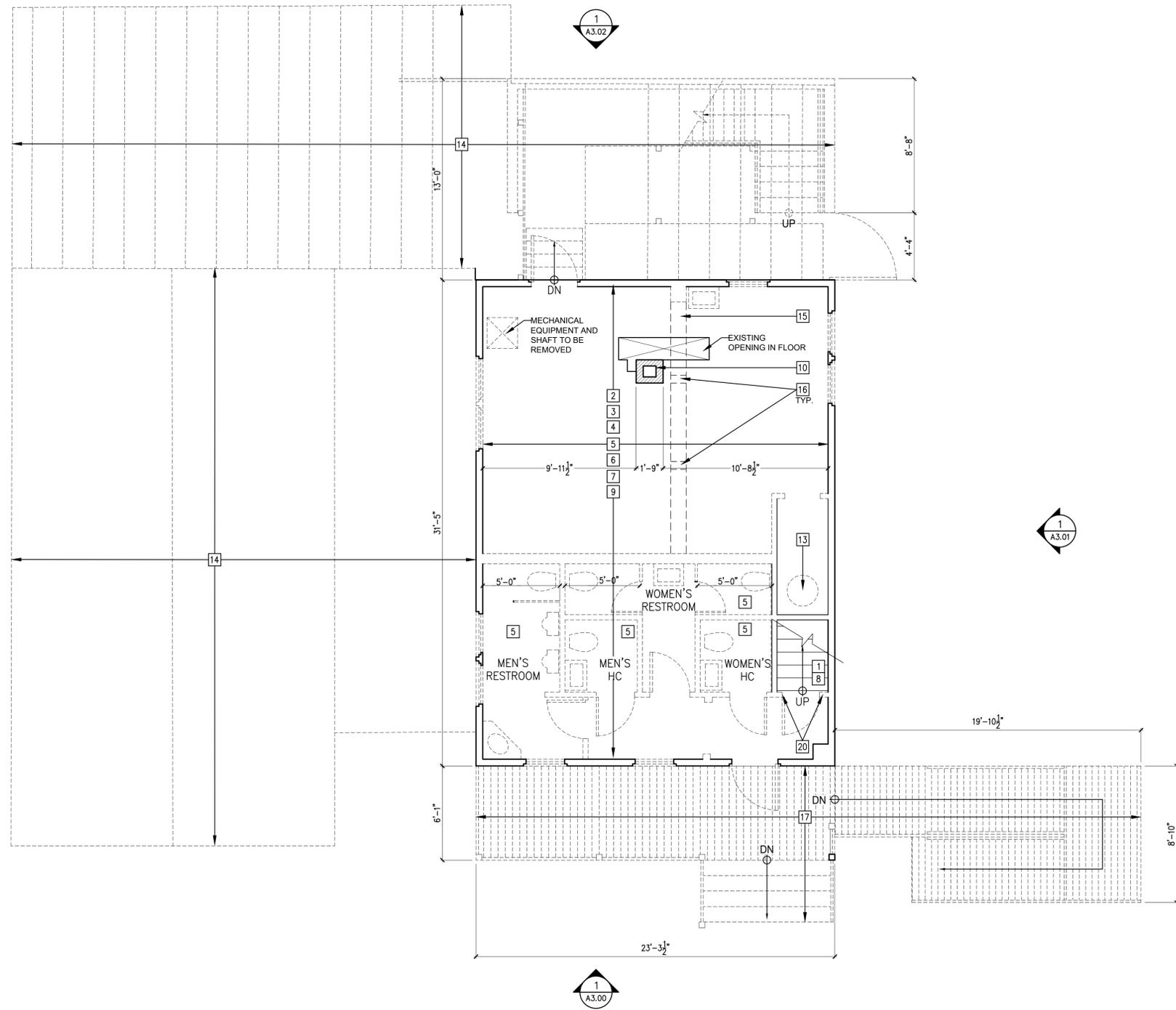
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**PROPOSED ARCHITECTURAL SITE PLAN**

PROJECT NO. B-193404  
DRAWING NO.

A1.01



**1 EXISTING FIRST FLOOR PLAN - SELECTIVE DEMOLITION**

SCALE: 1/4" = 1'-0"

1. REMOVE CARPET FROM STAIR AND DISCARD.
2. REMOVE ALL EXISTING GYPSUM BOARD FROM THE CEILING SURFACES. PRIOR TO REMOVING THE CEILINGS, THE LIGHT FIXTURES SHOULD BE DISCONNECTED AND REMOVED.
3. REMOVE ALL EXISTING GYPSUM BOARD, FLOOR BASE AND WINDOW TRIM FROM THE WALLS. PRIOR TO REMOVING THE GYPSUM WALLS, GIVE CARE TO REMOVE THE EXISTING FLOOR BASE AND TRIM. PIECES ARE TO BE USED FOR MATCHING NEW SELECTION.
4. REMOVE THE EXISTING FINISH FLOORING AND PLYWOOD SUB-FLOOR. INSPECT AND REPLACE ANY ROTTED AND DAMAGED FLOOR FRAMING COMPONENTS TO MATCH EXISTING BEFORE INSTALLING NEW PLYWOOD, SUB-FLOOR AND FINISH FLOOR. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
5. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND ACCESSORIES.
6. DISCONNECT AND REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, CONDUITS, PANELS AND LIGHT FIXTURES AND ASSOCIATED ACCESSORIES. PROPERLY DISCONNECT AND CAP SOURCE OF ELECTRICITY.
7. REMOVE MISC. ITEMS, SUCH AS HARDWARE OR RUBBISH.
8. EXISTING STAIR TO REMAIN.
9. REMOVE EXISTING PARTITIONS/WALLS WHERE SHOWN.
10. EXISTING CHIMNEY TO REMAIN.
11. NOT USED.
12. REMOVE ATTIC STAIR.
13. REMOVE WATER HEATER.
14. REMOVE METAL ACCESSORY, STAIR STRUCTURE AND CONCRETE SLAB IN ITS ENTIRETY.
15. BEAM ABOVE TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS.
16. WOOD COLUMNS TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
17. REMOVE EXISTING PORCH AND RAMP IN THEIR ENTIRETY.
18. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR ROTTED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF FRAMING MEMBERS BELOW. SEE STRUCTURAL DRAWINGS. INSPECT THE ROOF FRAMING MEMBERS FOR ROT AND DETERIORATION. IF ROT AND DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING.
19. REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
20. REMOVE DOOR, TRIM AND PORTION OF WALL FROM FLOOR TO CEILING.
21. REMOVE BALUSTRADE, NEWEL POST AND HANDRAIL IN THEIR ENTIRETY.

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW DRYWALL PARTITION
- BRICK

**2 DEMOLITION KEYNOTES**

**3 LEGEND**



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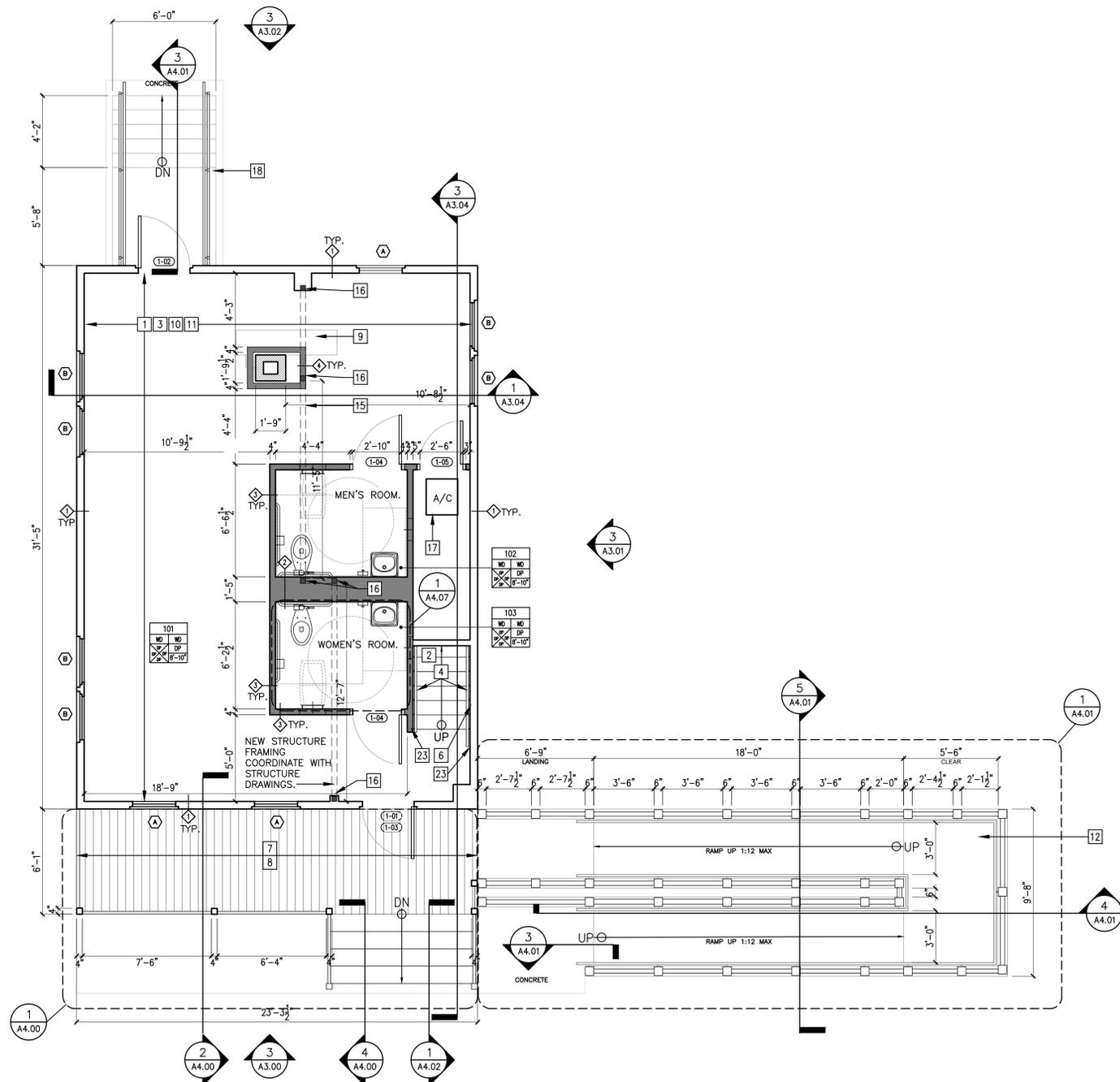
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**EXISTING FIRST FLOOR PLAN - SELECTIVE DEMOLITION**

PROJECT NO. B-193404  
 DRAWING NO.



**1 PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1. INSTALL NEW 5/8" GYPSUM BOARD CEILING AND WALL FINISH; PREP, PRIME AND PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
2. RESTORE THE STAIR RISERS AND TREADS BY CLEANING, SANDING AND THEM PRIME. APPLY 2 FINISHING COATS OF SEMI-GLOSS FINISH.
3. INSTALL NEW PLYWOOD SUB-FLOOR, WITH NEW HEART PINE WOOD FINISH FLOORING ON TOP.
4. INSTALL NEW CODE-COMPLIANT HANDRAIL.
5. INSTALL NEW CODE-COMPLIANT WOODEN BALUSTRADE AND HANDRAIL.
6. RESTORE ORIGINAL LATH AND PLASTER WALL IN THE MAIN STAIR.
7. CONSTRUCT NEW WOOD PORCH TO BE FLUSH WITH FINISHED FIRST FLOOR.
8. INSTALL NEW IPE WOOD FLOORING (1X4) TO MATCH EXISTING IN DIMENSIONS AND PROFILES. PAINT BENJAMIN MOORE PEALE GREEN HC-121.
9. CONSTRUCT NEW INFILL FLOOR FRAMING TO MATCH EXISTING ADJACENT CONSTRUCTION. SEE STRUCTURAL DRAWINGS.
10. INSTALL NEW WINDOW TRIM. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW WALL BASE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
12. CONSTRUCT NEW CODE-COMPLIANT ADA RAMP.
13. INSTALL NEW PLY-WOOD SUB-FLOOR.
14. NEW FAKRO LMS INSULATED METAL ATTIC LADDER WITH A R.O. 22.5" X 54" (SKU #: 66868).
15. NEW W8 STEEL BEAM. SEE STRUCTURAL DRAWINGS.
16. NEW HSS 3-1/2"x3-1/2" STEEL COLUMNS. SEE STRUCTURAL DRAWINGS.
17. A/C UNIT. SEE MECHANICAL.
18. INSTALL NEW CONCRETE STAIR AND CODE-COMPLIANT GUARDRAILS.
19. INSTALL NEW PARTITION WALLS WITH SOLID WOOD DOOR PAINTED TO MATCH EXISTING. PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
20. INSTALL NEW CERTI-LAST PRESERVATIVE TREATED CEDAR SHINGLES BY WATKINS SAWMILL OVER CEDAR BREATHER ROOFING UNDERLAYMENT AND ASSOCIATED COPPER FLASHING (SUBMIT PRODUCT DATA FOR ARCHITECTS REVIEW) OVER GAF VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION OVER OWENS CORNING TITANIUM PSU30 ICE & WATER SHIELD OVER EXISTING ROOF SHEATHING. INSTALL ROOFING SYSTEM PER LATEST FLORIDA BUILDING CODE, RAS-111 & 115 REQUIREMENTS, AND MANUFACTURER'S RECOMMENDATIONS (TYP.)
21. INSPECT AND RE-POINT CHIMNEY CAP AND MORTAR JOINTS AS REQUIRED TO MATCH EXISTING MORTAR PROFILE AND COLOR.
22. INSTALL NEW HALF ROUND GALVANIZED GUTTER AND DOWNSPOUT SYSTEM.
23. FINISH END PORTION OF WALL UP TO THE CEILING TO MATCH EXISTING ADJACENT WALL. PAINT BENJAMIN MOORE MONTEREY WHITE HC-121.
24. RAFTERS AND WALL FRAMING TO BE LEFT EXPOSED.

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW DRYWALL PARTITION
- BRICK

**2 PROPOSED KEYNOTES**

**3 LEGEND**



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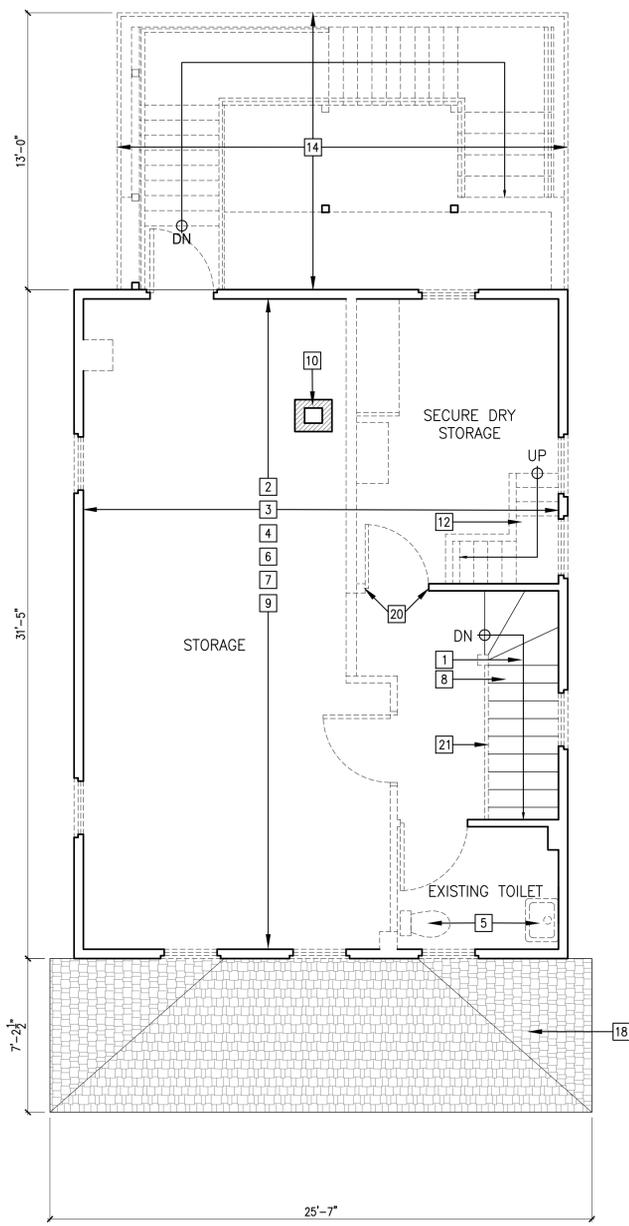
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**PROPOSED FIRST FLOOR PLAN**

PROJECT NO. B-193404  
DRAWING NO.

A2.01

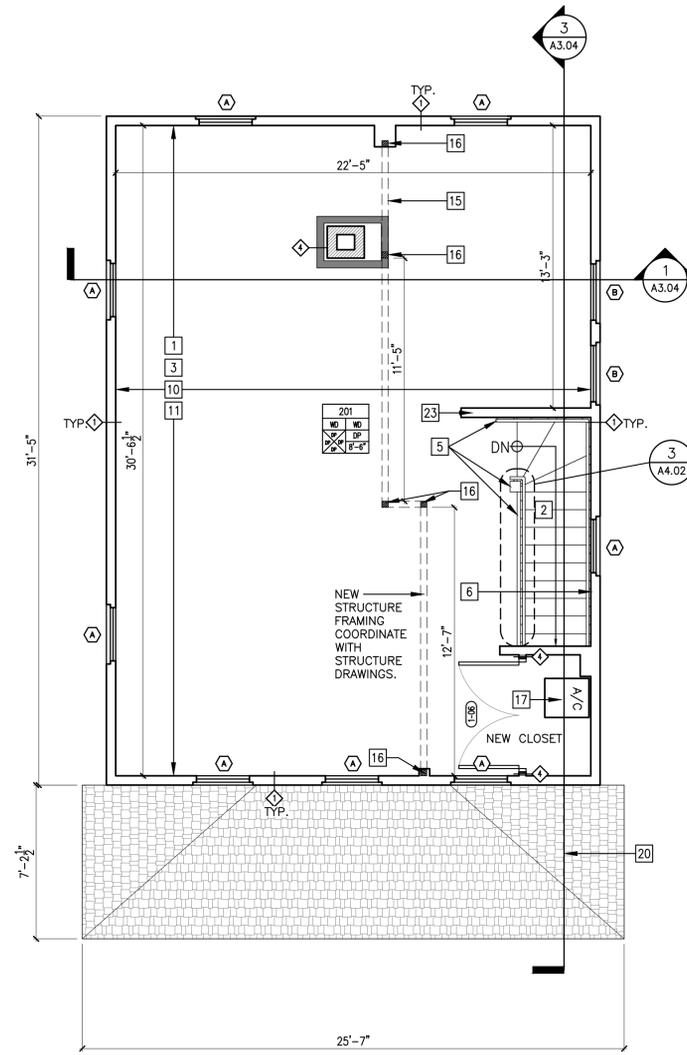


**1 EXISTING SECOND FLOOR PLAN - SELECTIVE DEMO**

SCALE: 1/4" = 1'-0"

1. REMOVE CARPET FROM STAIR AND DISCARD.
2. REMOVE ALL EXISTING GYPSUM BOARD FROM THE CEILING SURFACES. PRIOR TO REMOVING THE CEILINGS, THE LIGHT FIXTURES SHOULD BE DISCONNECTED AND REMOVED.
3. REMOVE ALL EXISTING GYPSUM BOARD, FLOOR BASE AND WINDOW TRIM FROM THE WALLS. PRIOR TO REMOVING THE GYPSUM WALLS, GIVE CARE TO REMOVE THE EXISTING FLOOR BASE AND TRIM. PIECES ARE TO BE USED FOR MATCHING NEW SELECTION.
4. REMOVE THE EXISTING FINISH FLOORING AND PLYWOOD SUB-FLOOR. INSPECT AND REPLACE ANY ROTTED AND DAMAGED FLOOR FRAMING COMPONENTS TO MATCH EXISTING BEFORE INSTALLING NEW PLYWOOD, SUB-FLOOR AND FINISH FLOOR. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
5. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND ACCESSORIES.
6. DISCONNECT AND REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, CONDUITS, PANELS AND LIGHT FIXTURES AND ASSOCIATED ACCESSORIES. PROPERLY DISCONNECT AND CAP SOURCE OF ELECTRICITY.
7. REMOVE MISC. ITEMS, SUCH AS HARDWARE OR RUBBISH.
8. EXISTING STAIR TO REMAIN.
9. REMOVE EXISTING PARTITIONS/WALLS WHERE SHOWN.
10. EXISTING CHIMNEY TO REMAIN.
11. NOT USED.
12. REMOVE ATTIC STAIR.
13. REMOVE WATER HEATER.
14. REMOVE METAL ACCESSORY, STAIR STRUCTURE AND CONCRETE SLAB IN ITS ENTIRETY.
15. BEAM ABOVE TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS.
16. WOOD COLUMNS TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
17. REMOVE EXISTING PORCH AND RAMP IN THEIR ENTIRETY.
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19. REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
20. REMOVE DOOR, TRIM AND PORTION OF WALL FROM FLOOR TO CEILING.
21. REMOVE BALUSTRADE, NEWEL POST AND HANDRAIL IN THEIR ENTIRETY.

**3 DEMO KEYNOTES**



**2 PROPOSED SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1. INSTALL NEW 5/8" GYPSUM BOARD CEILING AND WALL FINISH. PREP, PRIME AND PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
2. RESTORE THE STAIR RISERS AND TREADS BY CLEANING, SANDING AND THEM PRIME. APPLY 2 FINISHING COATS OF SEMI-GLOSS FINISH.
3. INSTALL NEW PLYWOOD SUB-FLOOR, WITH NEW HEART PINE WOOD FINISH FLOORING ON TOP.
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15. NEW W8 STEEL BEAM. SEE STRUCTURAL DRAWINGS.
16. NEW HSS 3-1/2"x3-1/2" STEEL COLUMNS. SEE STRUCTURAL DRAWINGS.
17. A/C UNIT. SEE MECHANICAL.
18. INSTALL NEW CONCRETE STAIR AND CODE-COMPLIANT GUARDRAILS.
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24. RAFTERS AND WALL FRAMING TO BE LEFT EXPOSED.

**4 PROPOSED KEYNOTES**

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW DRYWALL PARTITION
- BRICK

**5 LEGEND**



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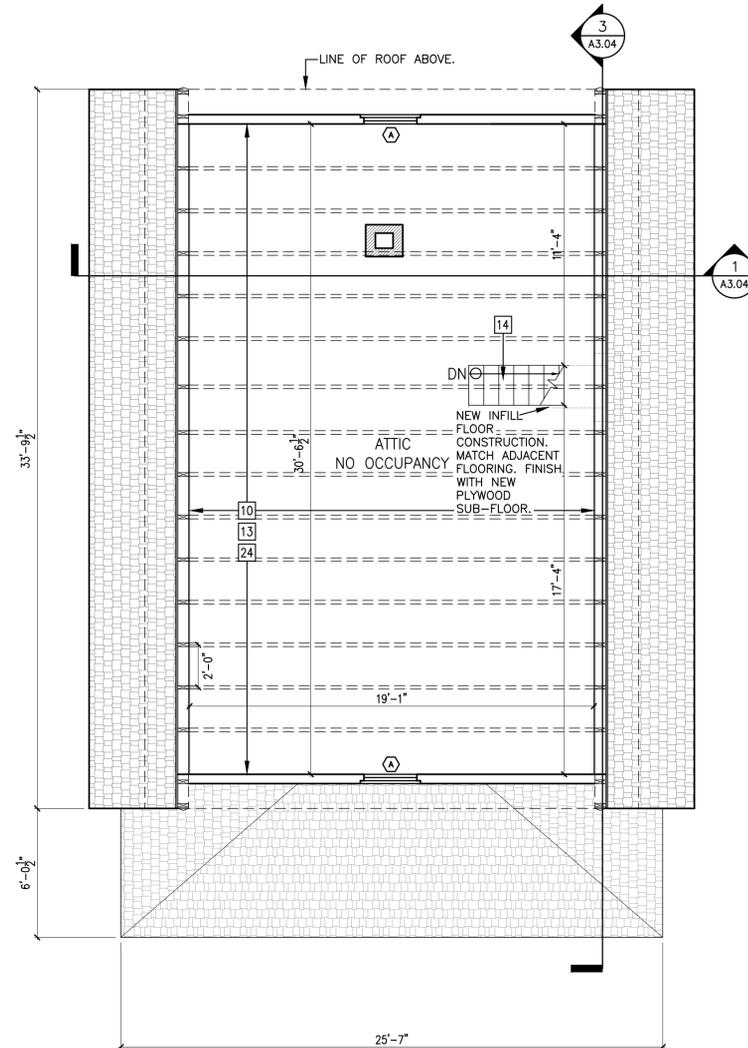
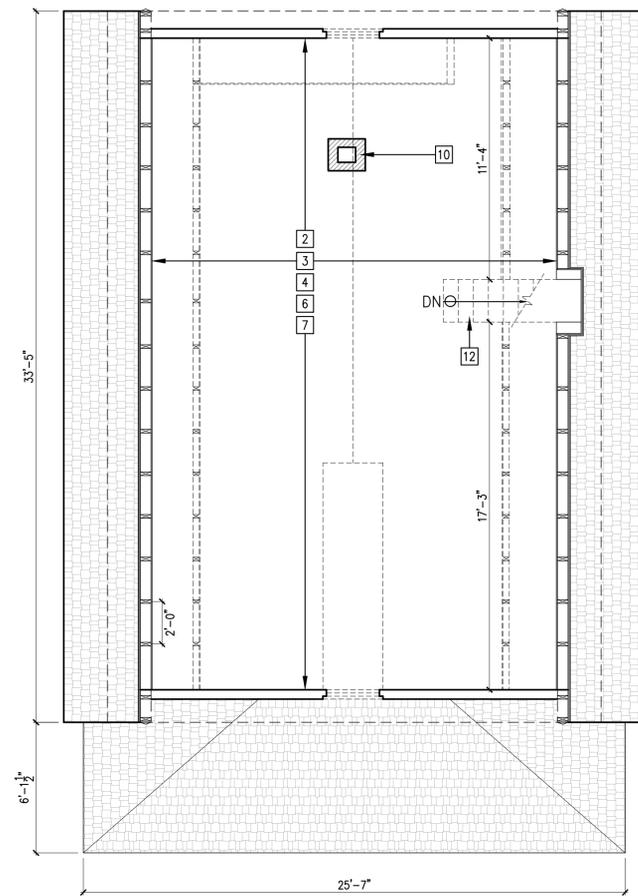
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**EXISTING SECOND FLOOR PLAN - SELECTIVE DEMO AND PROPOSED SECOND FLOOR PLAN**

PROJECT NO. B-19304  
 DRAWING NO.



**1 EXISTING THIRD FLOOR PLAN - SELECTIVE DEMO**

SCALE: 1/4" = 1'-0"

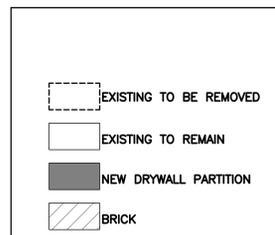
1. REMOVE CARPET FROM STAIR AND DISCARD.
2. REMOVE ALL EXISTING GYPSUM BOARD FROM THE CEILING SURFACES. PRIOR TO REMOVING THE CEILINGS, THE LIGHT FIXTURES SHOULD BE DISCONNECTED AND REMOVED.
3. REMOVE ALL EXISTING GYPSUM BOARD, FLOOR BASE AND WINDOW TRIM FROM THE WALLS. PRIOR TO REMOVING THE GYPSUM WALLS, GIVE CARE TO REMOVE THE EXISTING FLOOR BASE AND TRIM. PIECES ARE TO BE USED FOR MATCHING NEW SELECTION.
4. REMOVE THE EXISTING FINISH FLOORING AND PLYWOOD SUB-FLOOR. INSPECT AND REPLACE ANY ROTTED AND DAMAGED FLOOR FRAMING COMPONENTS TO MATCH EXISTING BEFORE INSTALLING NEW PLYWOOD, SUB-FLOOR AND FINISH FLOOR. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
5. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND ACCESSORIES.
6. DISCONNECT AND REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, CONDUITS, PANELS AND LIGHT FIXTURES AND ASSOCIATED ACCESSORIES. PROPERLY DISCONNECT AND CAP SOURCE OF ELECTRICITY.
7. REMOVE MISC. ITEMS, SUCH AS HARDWARE OR RUBBISH.
8. EXISTING STAIR TO REMAIN.
9. REMOVE EXISTING PARTITIONS/WALLS WHERE SHOWN.
10. EXISTING CHIMNEY TO REMAIN.
11. NOT USED.
12. REMOVE ATTIC STAIR.
13. REMOVE WATER HEATER.
14. REMOVE METAL ACCESSORY, STAIR STRUCTURE AND CONCRETE SLAB IN ITS ENTIRETY.
15. BEAM ABOVE TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS.
16. WOOD COLUMNS TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
17. REMOVE EXISTING PORCH AND RAMP IN THEIR ENTIRETY.

18. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR ROTTED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF FRAMING MEMBERS BELOW. SEE STRUCTURAL DRAWINGS. INSPECT THE ROOF FRAMING MEMBERS FOR ROT AND DETERIORATION. IF ROT AND DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING.
19. REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
20. REMOVE DOOR, TRIM AND PORTION OF WALL FROM FLOOR TO CEILING.
21. REMOVE BALUSTRADE, NEWEL POST AND HANDRAIL IN THEIR ENTIRETY.

**2 PROPOSED THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1. INSTALL NEW 5/8" GYPSUM BOARD CEILING AND WALL FINISH; PREP, PRIME AND PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
2. RESTORE THE STAIR RISERS AND TREADS BY CLEANING, SANDING AND THEM PRIME. APPLY 2 FINISHING COATS OF SEMI-GLOSS FINISH.
3. INSTALL NEW PLYWOOD SUB-FLOOR, WITH NEW HEART PINE WOOD FINISH FLOORING ON TOP.
4. INSTALL NEW CODE-COMPLIANT HANDRAIL
5. INSTALL NEW CODE-COMPLIANT WOODEN BALUSTRADE AND HANDRAIL
6. RESTORE ORIGINAL LATH AND PLASTER WALL IN THE MAIN STAIR.
7. CONSTRUCT NEW WOOD PORCH TO BE FLUSH WITH FINISHED FIRST FLOOR.
8. INSTALL NEW IPE WOOD FLOORING (1X4) TO MATCH EXISTING IN DIMENSIONS AND PROFILES. PAINT BENJAMIN MOORE PEALE GREEN HC-121.
9. CONSTRUCT NEW INFILL FLOOR FRAMING TO MATCH EXISTING ADJACENT CONSTRUCTION. SEE STRUCTURAL DRAWINGS.
10. INSTALL NEW WINDOW TRIM. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW WALL BASE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
12. CONSTRUCT NEW CODE-COMPLIANT ADA RAMP.
13. INSTALL NEW PLY-WOOD SUB-FLOOR.
14. NEW FAKRO LMS INSULATED METAL ATTIC LADDER WITH A R.O. 22.5" X 54" (SKU #: 66868).
15. NEW W8 STEEL BEAM. SEE STRUCTURAL DRAWINGS.
16. NEW HSS 3-1/2"x3-1/2" STEEL COLUMNS. SEE STRUCTURAL DRAWINGS.
17. A/C UNIT. SEE MECHANICAL.
18. INSTALL NEW CONCRETE STAIR AND CODE-COMPLIANT GUARDRAILS.
19. INSTALL NEW PARTITION WALLS WITH SOLID WOOD DOOR PAINTED TO MATCH EXISTING. PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
20. INSTALL NEW CERTI-LAST PRESERVATIVE TREATED CEDAR SHINGLES BY WATKINS SAWMILL OVER CEDAR BREATHER ROOFING UNDERLAYMENT AND ASSOCIATED COPPER FLASHING (SUBMIT PRODUCT DATA FOR ARCHITECTS REVIEW) OVER GAF VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION OVER OWENS CORNING TITANIUM PSU30 ICE & WATER SHIELD OVER EXISTING ROOF SHEATHING. INSTALL ROOFING SYSTEM PER LATEST FLORIDA BUILDING CODE, RAS-111 & 115 REQUIREMENTS, AND MANUFACTURER'S RECOMMENDATIONS (TYP.)
21. INSPECT AND RE-POINT CHIMNEY CAP AND MORTAR JOINTS AS REQUIRED TO MATCH EXISTING MORTAR PROFILE AND COLOR.
22. INSTALL NEW HALF ROUND GALVANIZED GUTTER AND DOWNSPOUT SYSTEM.
23. FINISH END PORTION OF WALL UP TO THE CEILING TO MATCH EXISTING ADJACENT WALL. PAINT BENJAMIN MOORE MONTEREY WHITE HC-121.
24. RAFTERS AND WALL FRAMING TO BE LEFT EXPOSED.



**3 DEMO KEYNOTES**

**4 PROPOSED KEYNOTES**

**5 LEGEND**



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**



PRIME CONSULTANT & STRUCTURAL ENGINEER  
5757 WATERFORD DISTRICT DRIVE, SUITE 255  
MIAMI, FLORIDA 33126  
TEL: 305-461-3450

**BISCAYNE ENGINEERING**

SURVEYOR  
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CORAL GABLES, FLORIDA 33146  
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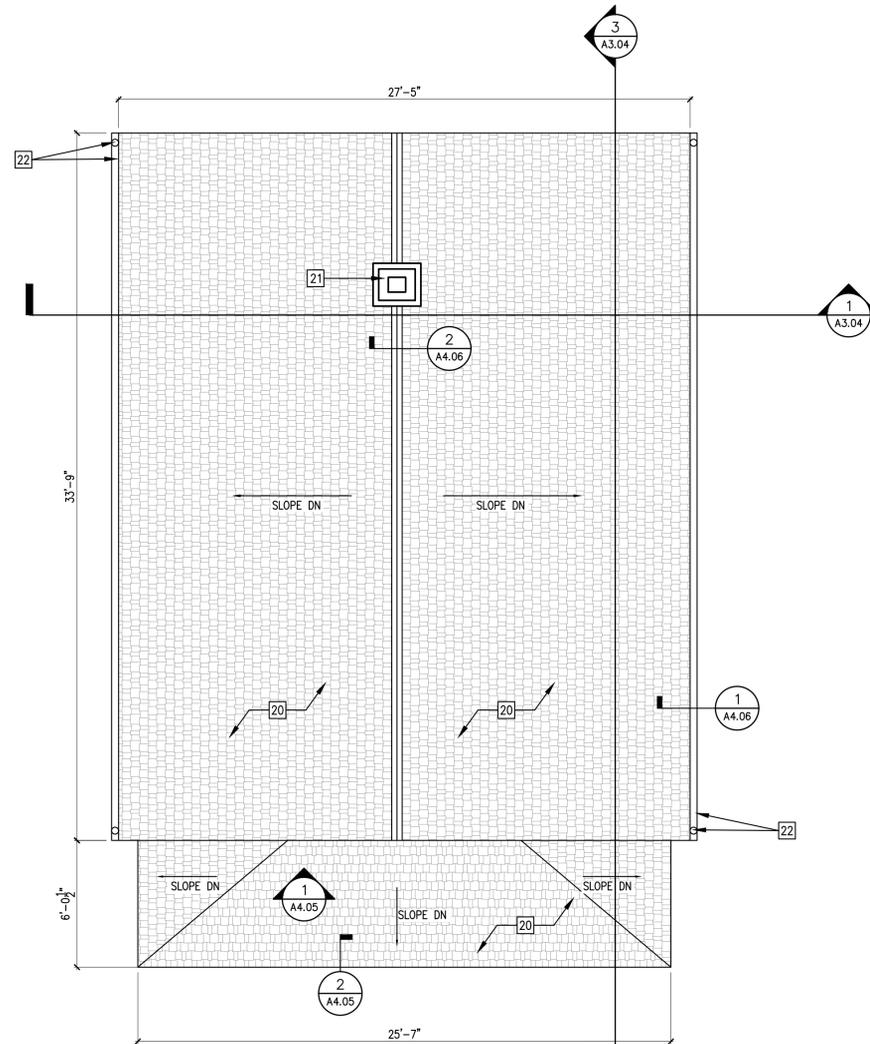
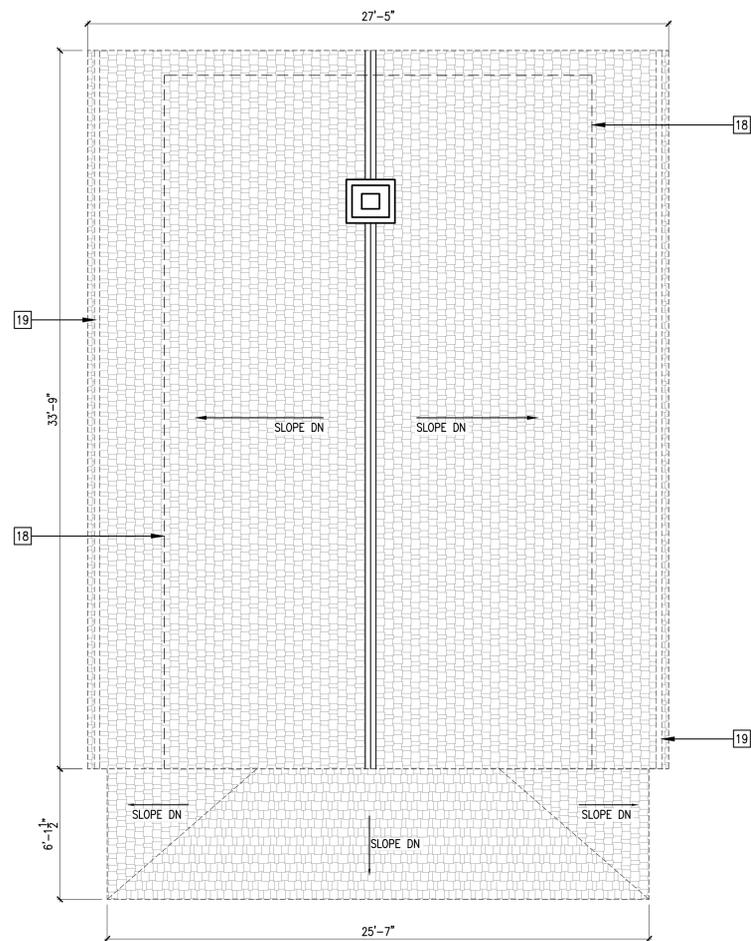
**RJ HEISENBOTTE**

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SUITE 400  
CORAL GABLES, FL 33134  
TELEPHONE: 305-446-7799 FAX: 305-446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

**EXISTING THIRD FLOOR PLAN  
-SELECTIVE DEMO AND  
PROPOSED THIRD FLOOR PLAN**

PROJECT NO. B-193404  
DRAWING NO.



**1 EXISTING ROOF PLAN - SELECTIVE DEMO**

SCALE: 1/4" = 1'-0"

1. REMOVE CARPET FROM STAIR AND DISCARD.
2. REMOVE ALL EXISTING GYPSUM BOARD FROM THE CEILING SURFACES. PRIOR TO REMOVING THE CEILINGS, THE LIGHT FIXTURES SHOULD BE DISCONNECTED AND REMOVED.
3. REMOVE ALL EXISTING GYPSUM BOARD, FLOOR BASE AND WINDOW TRIM FROM THE WALLS. PRIOR TO REMOVING THE GYPSUM WALLS, GIVE CARE TO REMOVE THE EXISTING FLOOR BASE AND TRIM. PIECES ARE TO BE USED FOR MATCHING NEW SELECTION.
4. REMOVE THE EXISTING FINISH FLOORING AND PLYWOOD SUB-FLOOR. INSPECT AND REPLACE ANY ROTTED AND DAMAGED FLOOR FRAMING COMPONENTS TO MATCH EXISTING BEFORE INSTALLING NEW PLYWOOD, SUB-FLOOR AND FINISH FLOOR. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
5. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND ACCESSORIES.
6. DISCONNECT AND REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, CONDUITS, PANELS AND LIGHT FIXTURES AND ASSOCIATED ACCESSORIES. PROPERLY DISCONNECT AND CAP SOURCE OF ELECTRICITY.
7. REMOVE MISC. ITEMS, SUCH AS HARDWARE OR RUBBISH.
8. EXISTING STAIR TO REMAIN.
9. REMOVE EXISTING PARTITIONS/WALLS WHERE SHOWN.
10. EXISTING CHIMNEY TO REMAIN.
11. NOT USED.
12. REMOVE ATTIC STAIR.
13. REMOVE WATER HEATER.
14. REMOVE METAL ACCESSORY, STAIR STRUCTURE AND CONCRETE SLAB IN ITS ENTIRETY.
15. BEAM ABOVE TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS.
16. WOOD COLUMNS TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
17. REMOVE EXISTING PORCH AND RAMP IN THEIR ENTIRETY.
18. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR ROTTED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF FRAMING MEMBERS BELOW. SEE STRUCTURAL DRAWINGS. INSPECT THE ROOF FRAMING MEMBERS FOR ROT AND DETERIORATION. IF ROT AND DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING.
19. REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
20. REMOVE DOOR, TRIM AND PORTION OF WALL FROM FLOOR TO CEILING.
21. REMOVE BALUSTRADE, NEWEL POST AND HANDRAIL IN THEIR ENTIRETY.

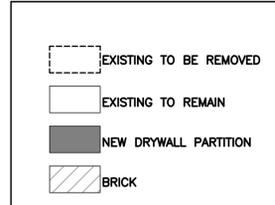
**3 DEMO KEYNOTES**

**2 PROPOSED ROOF FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1. INSTALL NEW 5/8" GYPSUM BOARD CEILING AND WALL FINISH; PREP, PRIME AND PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
2. RESTORE THE STAIR RISERS AND TREADS BY CLEANING, SANDING AND THEM PRIME. APPLY 2 FINISHING COATS OF SEMI-GLOSS FINISH.
3. INSTALL NEW PLYWOOD SUB-FLOOR, WITH NEW HEART PINE WOOD FINISH FLOORING ON TOP.
4. INSTALL NEW CODE-COMPLIANT HANDRAIL.
5. INSTALL NEW CODE-COMPLIANT WOODEN BALUSTRADE AND HANDRAIL.
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8. INSTALL NEW IPE WOOD FLOORING (1X4) TO MATCH EXISTING IN DIMENSIONS AND PROFILES. PAINT BENJAMIN MOORE PEALE GREEN HC-121.
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12. CONSTRUCT NEW CODE-COMPLIANT ADA RAMP.
13. INSTALL NEW PLY-WOOD SUB-FLOOR.
14. NEW FAKRO LMS INSULATED METAL ATTIC LADDER WITH A R.O. 22.5" X 54" (SKU #: 68688).
15. NEW W8 STEEL BEAM. SEE STRUCTURAL DRAWINGS.
16. NEW HSS 3-1/2" X 3-1/2" STEEL COLUMNS. SEE STRUCTURAL DRAWINGS.
17. A/C UNIT. SEE MECHANICAL.
18. INSTALL NEW CONCRETE STAIR AND CODE-COMPLIANT GUARDRAILS.
19. INSTALL NEW PARTITION WALLS WITH SOLID WOOD DOOR PAINTED TO MATCH EXISTING. PAINT USING BENJAMIN MOORE LINEN WHITE INTERIOR READY-MIX.
20. INSTALL NEW CERTI-LAST PRESERVATIVE TREATED CEDAR SHINGLES BY WATKINS SAWMILL OVER CEDAR BREATHER ROOFING UNDERLAYMENT AND ASSOCIATED COPPER FLASHING (SUBMIT PRODUCT DATA FOR ARCHITECTS REVIEW) OVER GAF VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION OVER OWENS CORNING TITANIUM PSU30 ICE & WATER SHIELD OVER EXISTING ROOF SHEATHING. INSTALL ROOFING SYSTEM PER LATEST FLORIDA BUILDING CODE, RAS-111 & 115 REQUIREMENTS, AND MANUFACTURER'S RECOMMENDATIONS (TYP.)
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23. FINISH END PORTION OF WALL UP TO THE CEILING TO MATCH EXISTING ADJACENT WALL. PAINT BENJAMIN MOORE MONTEREY WHITE HC-121.
24. RAFTERS AND WALL FRAMING TO BE LEFT EXPOSED.

**4 PROPOSED KEYNOTES**



**5 LEGEND**



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**  
 SELECTIVE DEMOLITION & RESTORATION  
 60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
 444 SW 2ND ST. 8TH FLOOR  
 MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**

**WOOD/DONNELLS/ACCARATO**  
 PRIME CONSULTANT & STRUCTURAL ENGINEER  
 5757 WATERFORD DISTRICT DRIVE, SUITE 255  
 MIAMI, FLORIDA 33126  
 TEL: 305-461-3450

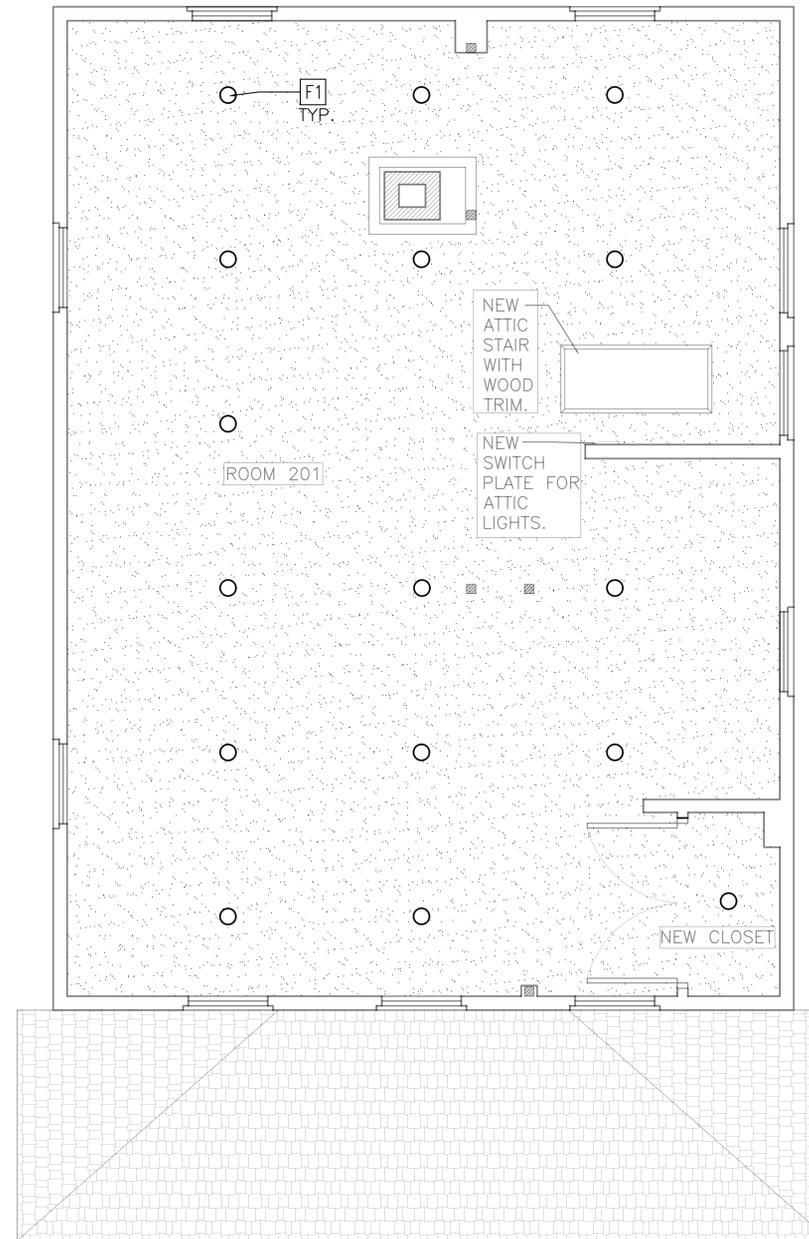
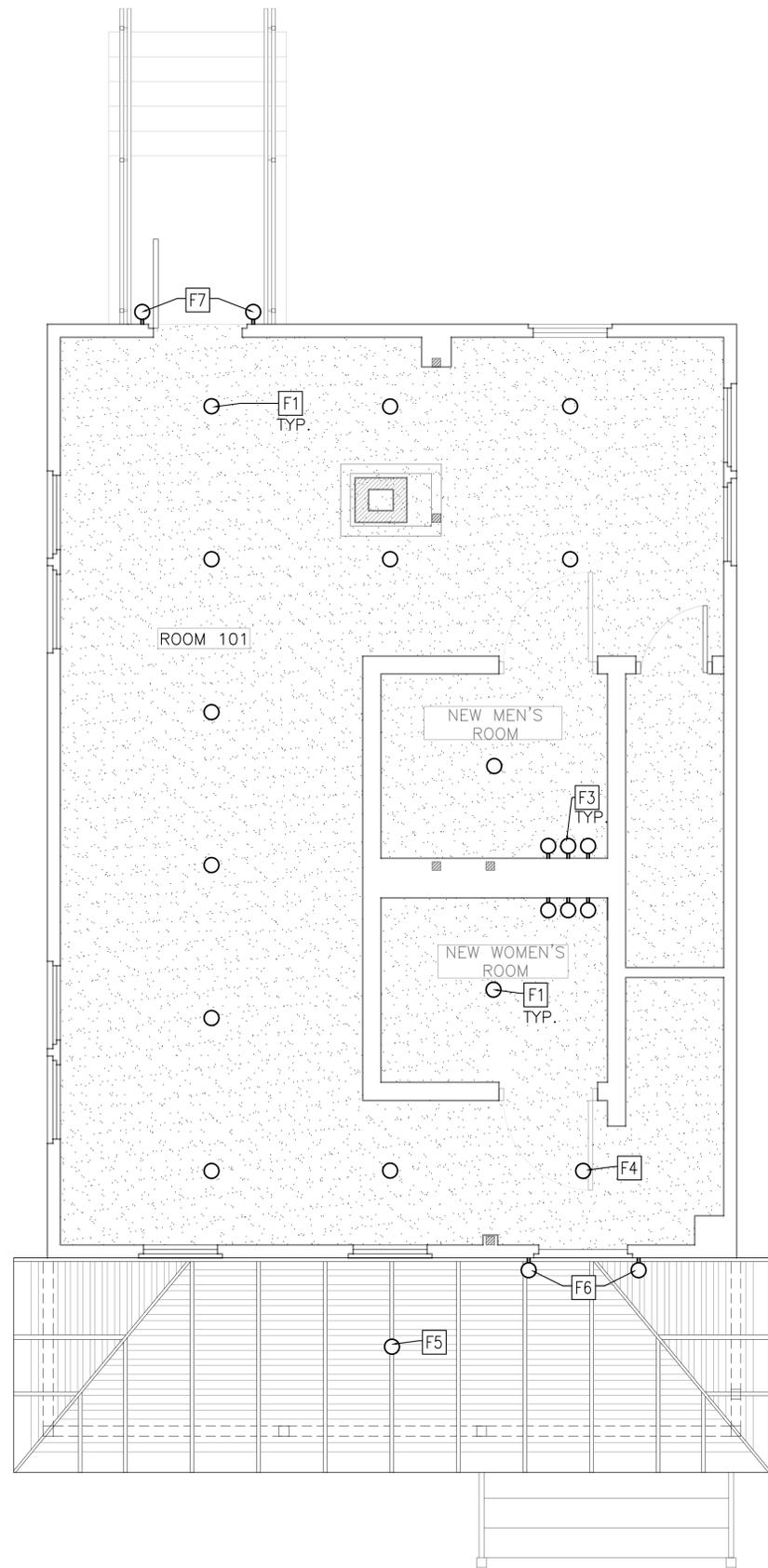
**BISCAYNE ENGINEERING**  
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 MIAMI FLORIDA, FL 33130  
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**EMTec CORPORATION**  
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**RJ HEISENBOTTLE**  
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 FLORIDA REGISTRATION NUMBER: AR 0010865

**EXISTING ROOF PLAN -SELECTIVE DEMO AND PROPOSED ROOF PLAN**

PROJECT NO. B-193404  
 DRAWING NO.



**FLAGLER WORKER'S  
HOUSE AT FORT  
DALLAS PARK**

**SELECTIVE DEMOLITION & RESTORATION**  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**



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SHEET TITLE

**PROPOSED REFLECTED  
CEILING PLAN**

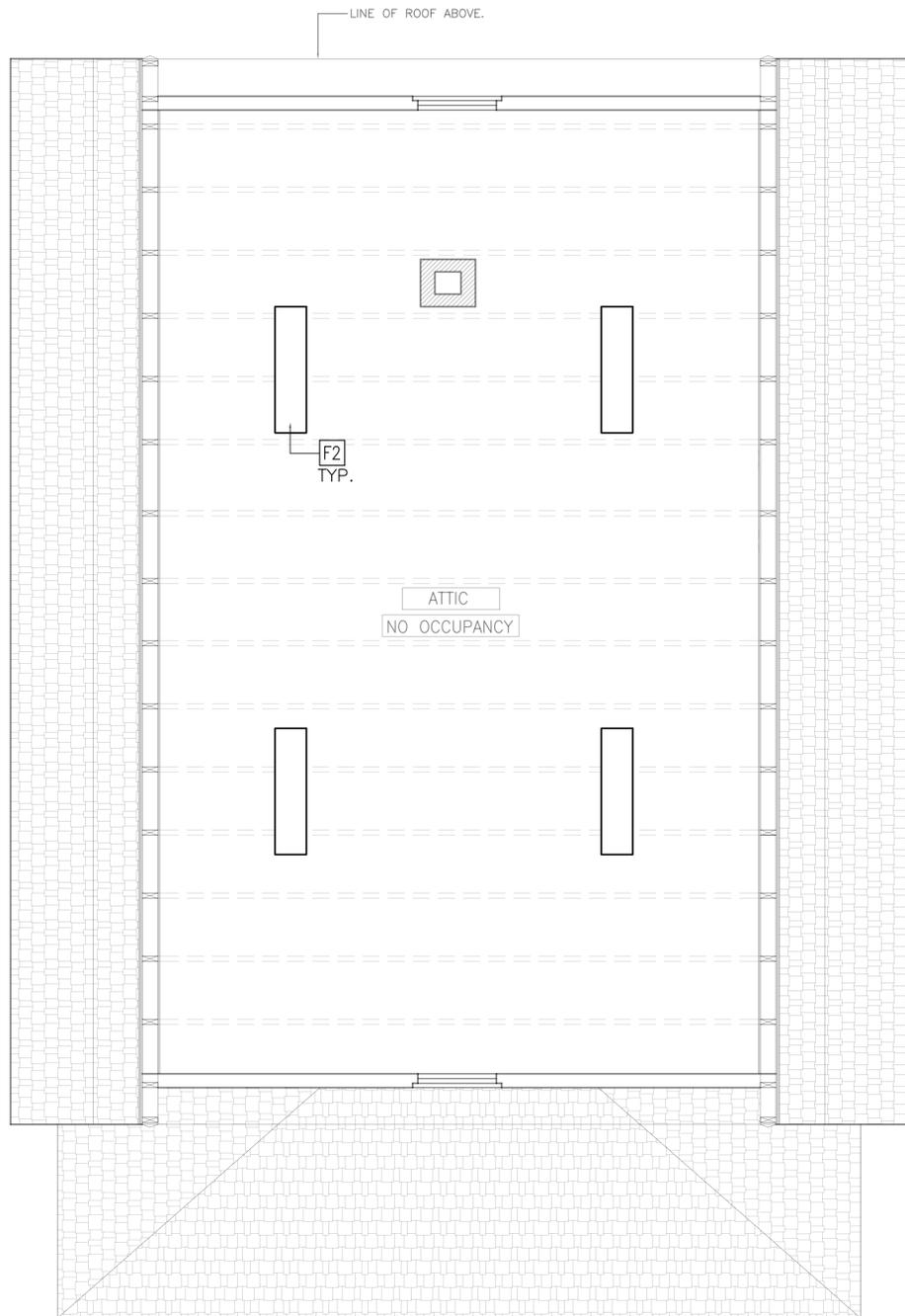
PROJECT NO. B-193404  
DRAWING NO.

1 PROPOSED REFLECTED CEILING PLAN FIRST FLOOR

SCALE: 3/8" = 1'-0"

2 PROPOSED REFLECTED CEILING PLAN SECOND FLOOR

SCALE: 3/8" = 1'-0"



LIGHTING FIXTURE SCHEDULE						
TYPE	TYPE	DESCRIPTION	MFR	MODEL NUMBER	LAMPS	MOUNTING
F1	FAN LIGHTS	SCHOOLHOU GLOBE LIGHT KIT	HUNTER	22555 or 22515	LED	FAN
F2	FAN LIGHTS	SCHOOLHOU GLOBE LIGHT KIT	HUNTER	22555 or 22515	LED	FAN
F3	CENTRAL LIVING ROOM LIGHT	12 IN. FROSTED GLASS ROUND DIFFUSER SHADE	HOME DEPOT	#801265	LED	FLUSHMOUNT
F4	EXISTING KITCHEN	RETAIN EXISTING FIXTURE, REPLACE LIGHTBULB WITH NEW LED, AND CLEAN GLOBE			LED	FLUSHMOUNT
F5	EXISTING KITCHEN	RETAIN EXISTING FIXTURE, REPLACE LIGHTBULB WITH NEW LED, AND CLEAN GLOBE			LED	FLUSHMOUNT
F6	DINING ALCOVE	INSPIRE 18" 3-LIGHT SATIN BRASS SEMI-FLUSH MOUNT CEILING LIGHT	PROGRESS LIGHTING	P350167-012	LED	SEMI-FLUSHMOUNT
F7	BATHROOM	MERCER DOUBLE HORIZONTAL SCONCE	POTTERY BARN	4687495	LED	SCONCE



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

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SHEET TITLE

**PROPOSED REFLECTED CEILING PLAN**

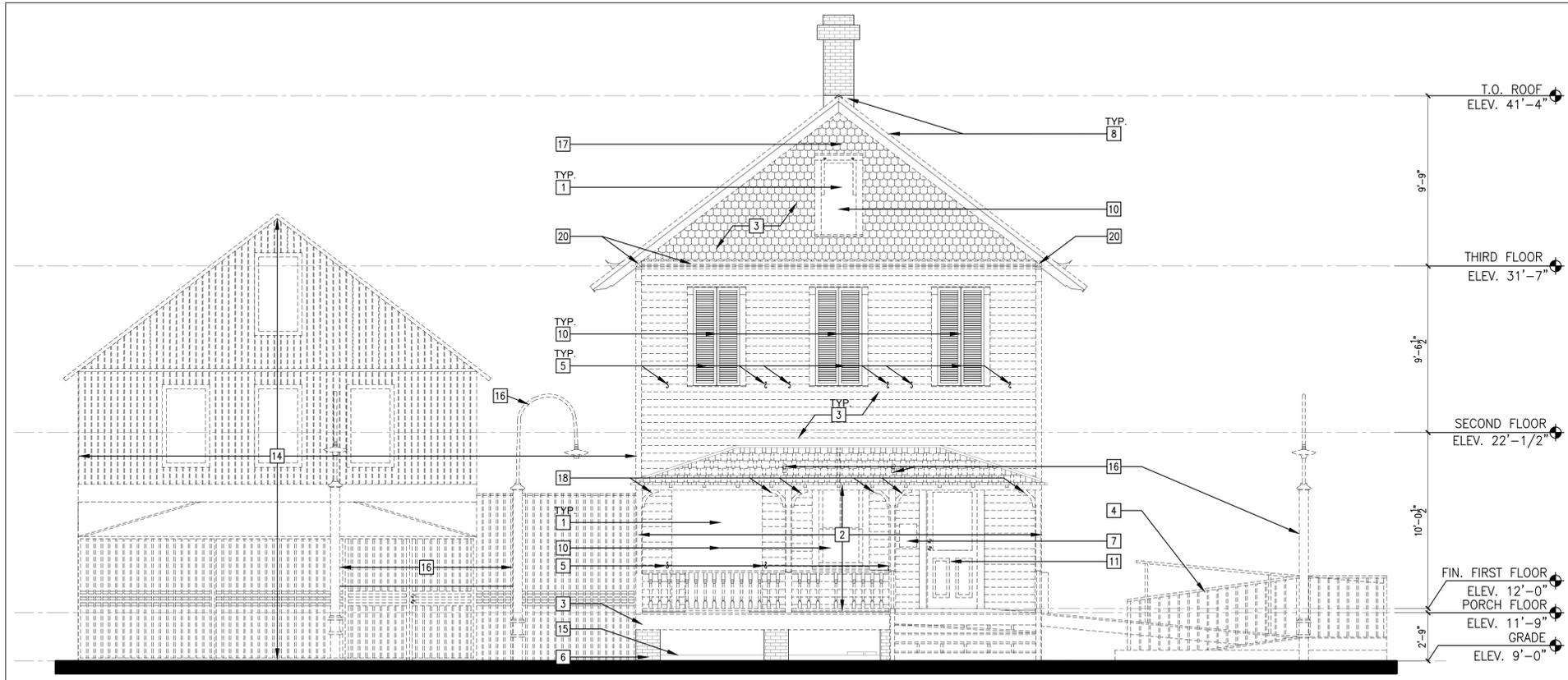
PROJECT NO. B-193404  
DRAWING NO.

A2.06

1 PROPOSED RELFECTED CEILING PLAN THIRD FLOOR

SCALE: 3/8" = 1'-0"

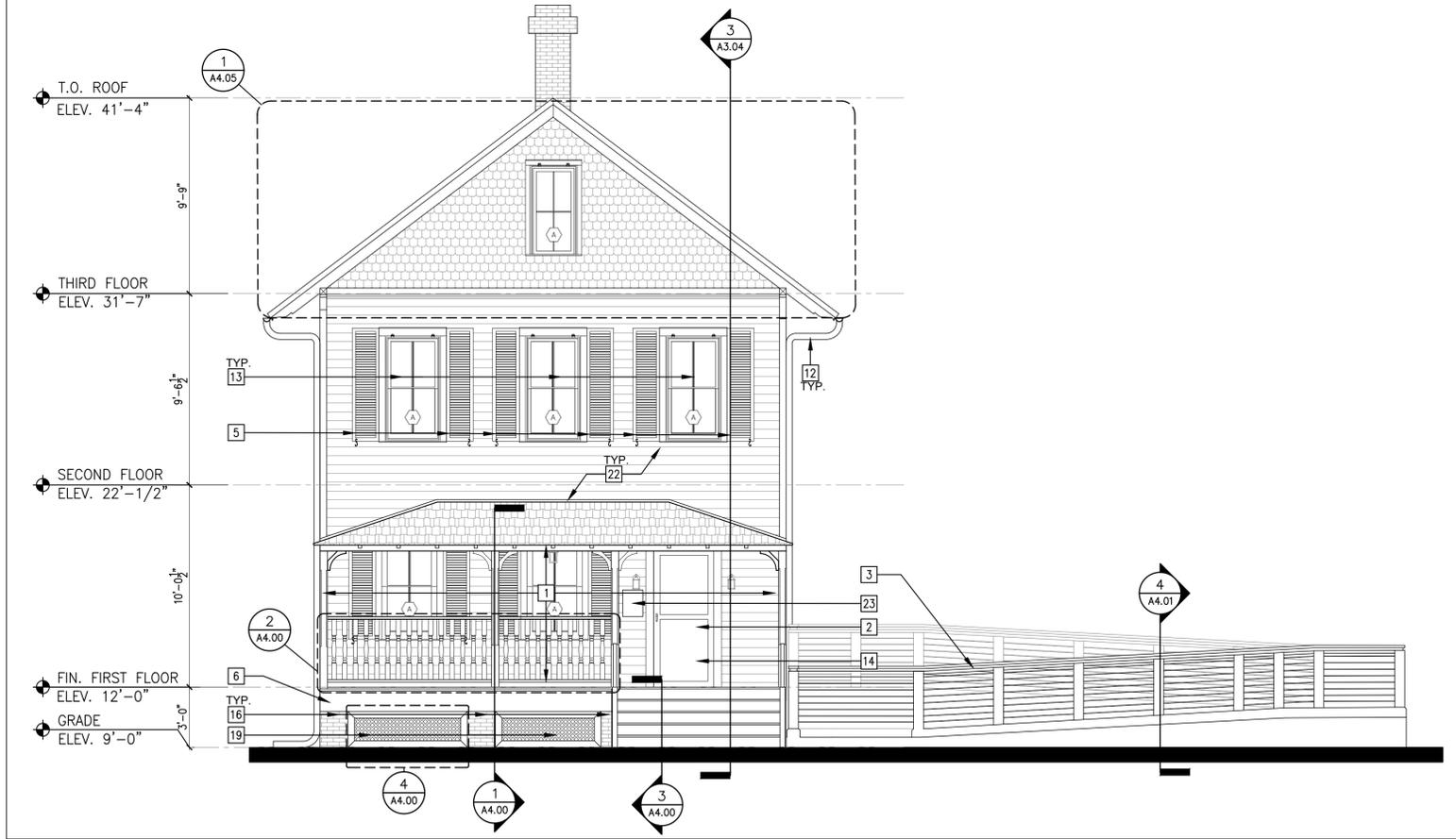
2 LIGHTING SCHEDULE



1. REMOVE EXISTING PLYWOOD, METAL PANELS AND ASSOCIATED MOUNTING HARDWARE INCLUDING NAILS.
2. REMOVE EXISTING PORCH STRUCTURE (COLUMNS, BALUSTRADE, STAIR AND FLOOR FRAMING) AND INSTALL TEMPORARY SHORING TO SUPPORT THE EXISTING ROOF STRUCTURE.
3. REMOVE EXISTING SIDING AND TRIM (WINDOW AND DOOR TRIM, CORNER BOARDS AND SKIRT BOARDS), INSPECT AND REPLACE ANY ROTTED AND DAMAGED STRUCTURAL WALL FRAMING. SEE STRUCTURAL DRAWINGS.
4. REMOVE THE EXISTING ACCESSIBLE RAMP IN ITS ENTIRETY.
5. REMOVE EXISTING SHUTTERS AND ASSOCIATED HARDWARE.
6. REMOVE ALL VEGETATION FROM CONCRETE AND BRICK.
7. REMOVE INFORMATION PLAQUE. CLEAN, PROTECT AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION UPON PROJECT COMPLETION.
8. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR DETERIORATED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF RAFTERS BELOW FOR ROT AND DETERIORATION. IF ROT OR DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
9. NOT USED.
10. REMOVE NON-ORIGINAL EXISTING WOOD WINDOWS, TRIM AND SCREENS.
11. REMOVE NON-ORIGINAL EXISTING DOORS AND TRIM.
12. NOT USED.
13. REMOVE METAL ACCESSORY, STAIR STRUCTURE, CONCRETE SLAB AND MISC. FLASHING/WEATHERPROOFING IN ITS ENTIRETY.
14. REMOVE EXCESS MATERIALS, SUCH AS PVC PIPE AND LATTICEWORK.
15. REMOVE EXISTING ELECTRICAL CONDUIT, LAMP POSTS, AND LIGHT FIXTURES ON WALL.
16. REMOVE SHEET METAL PANELS BETWEEN BRICK PIERS.
17. REMOVE EXISTING PORCH BRACKETS, PROTECT AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED OR BROKEN.
18. REMOVE BARS.
19. REMOVE EXISTING TRIM AND ROOF BRACKETS AND SALVAGE FOR REINSTALLATION.

**1 EXISTING EAST ELEVATION - SELECTIVE DEMO**  
SCALE: 1/4" = 1'-0"

**2 DEMO KEYNOTES**



1. CONSTRUCT NEW WOOD PORCH AS SHOWN TO MATCH EXISTING IN DIMENSIONS AND PROFILES (COLUMNS, STAIRS, BALUSTRADE FLOORING). GIVE CARE TO MATCH DETAILING SIMILAR TO THE CHAMFERED COLUMN CORNERS. SEE DETAIL 2 SHEET 4.02 FOR MORE INFORMATION.
2. INSTALL NEW "SCREEN TIGHT" WOODCRAFT DOOR. SCREEN TIGHT : ONE BETTER WAY GEORGETOWN, SC 29440 PHONE: (800) 768-7325
3. CONSTRUCT NEW ADA ACCESSIBLE RAMP WITH GUARDRAILS AND HANDRAILS. SEE SHEET A4.01 AND A4.02.
4. CONSTRUCT NEW CONCRETE STAIRS WITH GUARDRAILS AND HANDRAILS. SEE SHEET A4.01.
5. INSTALL NEW BROSCO CLASSIC COLLECTION STANDARD FAUX LOUVER. PAINT USING BENJAMIN MOORE PEALE GREEN HC-121.
6. INSTALL NEW 7-1/2" WOOD SKIRT BOARD WITH 1-1/4" DRIP EDGE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
7. INSTALL NEW QUARTER-ROUND TRIM TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
8. INSTALL NEW WOOD TRIM BOARD TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
9. INSTALL NEW 2X4" WOOD CORNICE TRIM. MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
10. INSTALL NEW 4-3/4" WOOD CORNER BOARDS TO MATCH EXISTING. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW 18" WATKINS SAWMILLS CERTIGRADE RED CEDAR SHINGLE ROOFING AND ASSOCIATED COPPER FLASHING. REPLACE EXISTING FLASHING AT CHIMNEY WITH NEW COPPER FLASHING. SEE SHEET A4.06.
12. INSTALL NEW 6" HALF-ROUND GALVANIZED GUTTER AND DOWNSPOUT SYSTEM - SPHERICAL COPPER END CAPS AND COPPER ROOF HANGERS.
13. INSTALL NEW IMPACT RESISTANT, ALUMINUM-CLAD WOOD WINDOWS, NEW WOOD WINDOW TRIM AND NEW WOOD SCREEN WITH HARDWARE TO MATCH EXISTING. SEE SHEET A5.02.
14. INSTALL NEW IMPACT RESISTANT WOOD DOORS TO MATCH THE EXISTING. SEE SHEET A5.00 AND A5.01.
15. FILL GAPS BELOW CONCRETE SPANDRELS BETWEEN BRICK FOUNDATION PIERS WITH NEW SOIL WHERE SOIL HAS ERODED.
16. REPAIR AND RE-POINT EXISTING BRICK FOUNDATION PIERS. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
17. INSTALL NEW OCTAGONAL WALL SHINGLES ON GABLED END OF ROOF. PAINT BENJAMIN MOORE MARBLEHEAD GOLD HC-11.
18. INDICATES ARE OF NEW INFILL WALL FRAMING. PROVIDE NEW INFILL WALL CONSTRUCTION TO MATCH EXISTING FRAMING. FINISH WITH NEW WOOD WINDOW, WOOD SIDING AND WOOD TRIM TO MATCH EXISTING. PAINT SIDING BENJAMIN MOORE MARBLEHEAD GOLD HC-11. PAINT TRIM BENJAMIN MOORE MONTEREY WHITE HC-27.
19. INSTALL NEW TREX CPVC LATTICE BETWEEN BRICK FOUNDATION PIERS. SEE DETAIL 4 ON SHEET A4.02.
20. EXISTING WOOD RAFTER TAILS @ 24" O.C. (V.I.F) TO REMAIN. REPLACE AS REQUIRED. RAFTER TAILS REQUIRING REPLACEMENT SEE DETAIL A ON A4.06.
21. INSTALL SALVAGED TRIM AND ROOF BRACKETS. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED, BEYOND REPAIR OR BROKEN. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
22. INSTALL NEW CLAYMARK "CENTURION" WOOD SIDING WITH TRUECORE PROTECTION TO MATCH EXISTING. PAINT BENJAMIN MOORE MARBLEHEAD GOLD HC-11.
23. REINSTALL INFORMATION PLAQUE.

**LEGEND**

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- NEW DRYWALL PARTITION
- BRICK

**3 PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**4 PROPOSED KEYNOTES**

**5 LEGEND**



**FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK**  
SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**

**WOOD/DONNELLS/NACCARATO**  
PRIME CONSULTANT & STRUCTURAL ENGINEER  
5757 WATERFORD DISTRICT DRIVE, SUITE 255  
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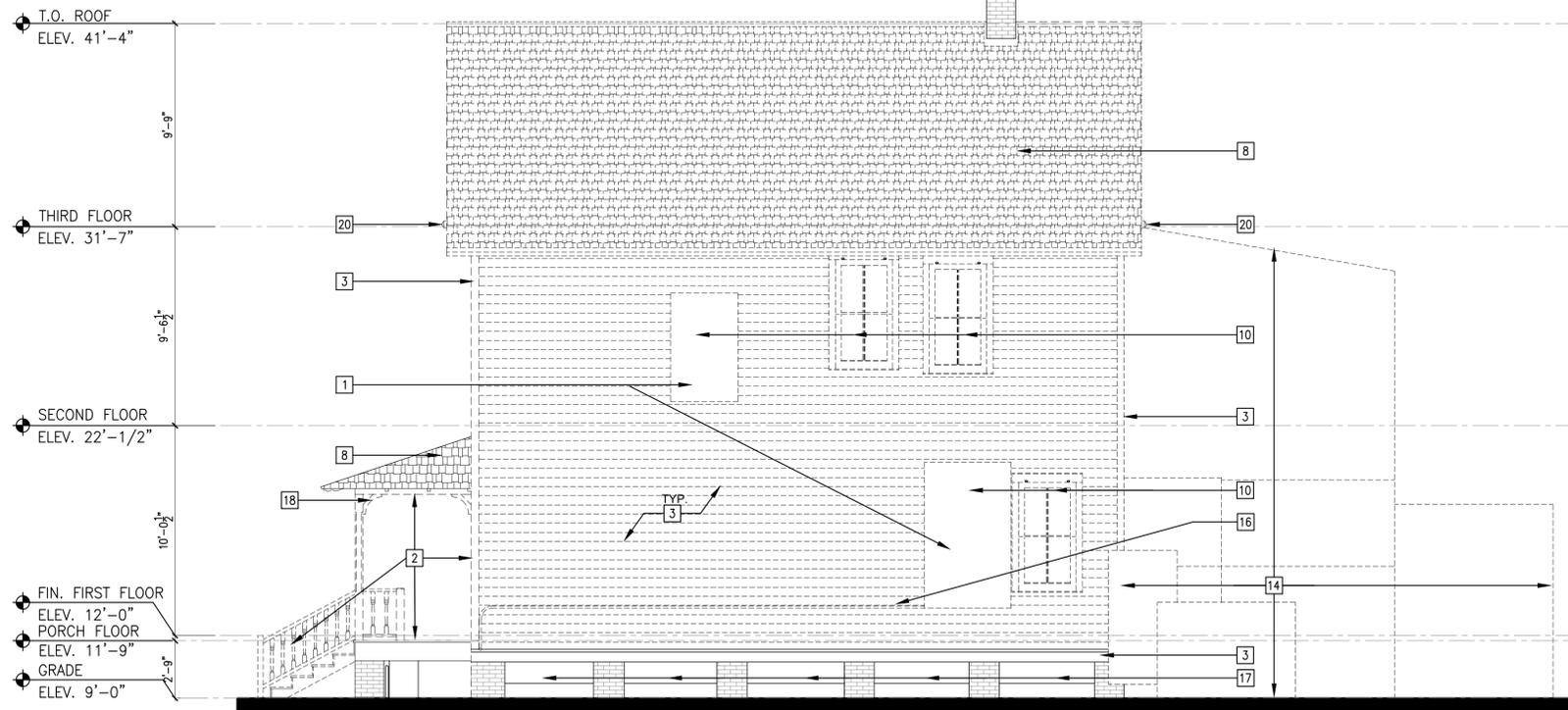
**EMTec CORPORATION**  
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**RJ HEISENBOTTLE**  
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TELEPHONE: 305-446-7799 FAX: 305-446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

**EXISTING EAST ELEVATION - SELECTIVE DEMO AND PROPOSED EAST ELEVATION**

PROJECT NO. B-193404  
DRAWING NO.

**A3.00**

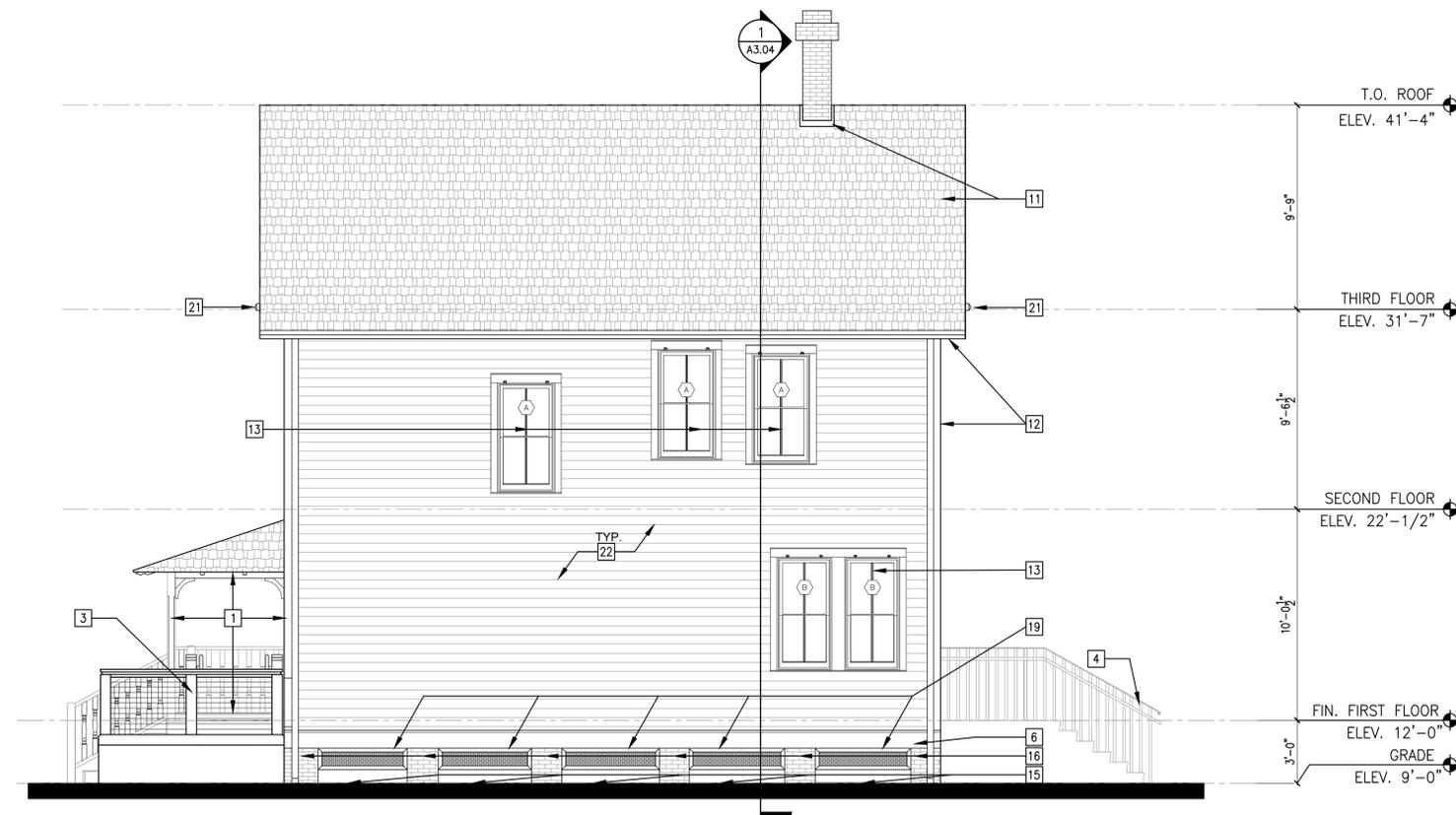


1 EXISTING NORTH ELEVATION - SELECTIVE DEMO

SCALE: 1/4" = 1'-0"

1. REMOVE EXISTING PLYWOOD, METAL PANELS AND ASSOCIATED MOUNTING HARDWARE INCLUDING NAILS.
2. REMOVE EXISTING PORCH STRUCTURE (COLUMNS, BALUSTRADE, STAIR AND FLOOR FRAMING) AND INSTALL TEMPORARY SHORING TO SUPPORT THE EXISTING ROOF STRUCTURE.
3. REMOVE EXISTING SIDING AND TRIM (WINDOW AND DOOR TRIM, CORNER BOARDS AND SKIRT BOARDS), INSPECT AND REPLACE ANY ROTTED AND DAMAGED STRUCTURAL WALL FRAMING. SEE STRUCTURAL DRAWINGS.
4. REMOVE THE EXISTING ACCESSIBLE RAMP IN ITS ENTIRETY.
5. REMOVE EXISTING SHUTTERS AND ASSOCIATED HARDWARE.
6. REMOVE ALL VEGETATION FROM CONCRETE AND BRICK.
7. REMOVE INFORMATION PLAQUE, CLEAN, PROTECT, AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION UPON PROJECT COMPLETION.
8. REMOVE EXISTING ROOFING DOWN TO THE SUBSHEATHING. REPLACE ANY DAMAGED OR DETERIORATED SHEATHING. DURING THE REPLACEMENT OF SUBSHEATHING, INSPECT THE ROOF RAFTERS BELOW FOR ROT AND DETERIORATION. IF ROT OR DETERIORATION ARE FOUND, REPLACE ROOF RAFTERS BEFORE INSTALLING NEW SHEATHING. REFER TO THE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
9. NOT USED.
10. REMOVE NON-ORIGINAL EXISTING WOOD WINDOWS, TRIM AND SCREENS.
11. REMOVE NON-ORIGINAL EXISTING DOORS AND TRIM.
12. NOT USED.
13. REMOVE METAL ACCESSORY, STAIR STRUCTURE, CONCRETE SLAB AND MISC. FLASHING/WEATHERPROOFING IN ITS ENTIRETY.
14. REMOVE EXCESS MATERIALS, SUCH AS PVC PIPE AND LATTICEWORK.
15. REMOVE EXISTING ELECTRICAL CONDUIT, LAMP POSTS, AND LIGHT FIXTURES ON WALL.
16. REMOVE SHEET METAL PANELS BETWEEN BRICK PIERS.
17. REMOVE EXISTING PORCH BRACKETS, PROTECT AND STORE IN A SECURE LOCATION AT THE OWNER'S DIRECTION FOR REINSTALLATION. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED OR BROKEN.
18. REMOVE RARS.

2 DEMO KEYNOTES



3 PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1. CONSTRUCT NEW WOOD PORCH AS SHOWN TO MATCH EXISTING IN DIMENSIONS AND PROFILES (COLUMNS, STAIRS, BALUSTRADE FLOORING). GIVE CARE TO MATCH DETAILING SIMILAR TO THE CHAMFERED COLUMN CORNERS. SEE DETAIL 2 SHEET 4.02 FOR MORE INFORMATION.
2. INSTALL NEW "SCREEN TIGHT" WOODCRAFT DOOR. SCREEN TIGHT : ONE BETTER WAY GEORGETOWN, SC 29440 PHONE: (800) 788-7325
3. CONSTRUCT NEW ADA ACCESSIBLE RAMP WITH GUARDRAILS AND HANDRAILS. SEE SHEET A4.01 AND A4.02.
4. CONSTRUCT NEW CONCRETE STAIRS WITH GUARDRAILS AND HANDRAILS. SEE SHEET A4.01.
5. INSTALL NEW BROSCO CLASSIC COLLECTION STANDARD FAUX LOUVER. PAINT USING BENJAMIN MOORE PEALE GREEN HC-121.
6. INSTALL NEW 7-1/2" WOOD SKIRT BOARD WITH 1-1/4" DRIP EDGE. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
7. INSTALL NEW QUARTER-ROUND TRIM TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
8. INSTALL NEW WOOD TRIM BOARD TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
9. INSTALL NEW 2X4" WOOD CORNICE TRIM. MATCH EXISTING IN PROFILE AND DIMENSION. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
10. INSTALL NEW 4-3/4" WOOD CORNER BOARDS TO MATCH EXISTING. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
11. INSTALL NEW 18" WATKINS SAWMILLS CERTIGRADE RED CEDAR SHINGLE ROOFING AND ASSOCIATED COPPER FLASHING. REPLACE EXISTING FLASHING AT CHIMNEY WITH NEW COPPER FLASHING. SEE SHEET A4.06.
12. INSTALL NEW 6" HALF-ROUND GALVANIZED GUTTER AND DOWNSPOUT SYSTEM - SPHERICAL COPPER END CAPS AND COPPER ROOF HANGERS.
13. INSTALL NEW IMPACT RESISTANT, ALUMINUM-CLAD WOOD WINDOWS, NEW WOOD WINDOW TRIM AND NEW WOOD SCREEN WITH HARDWARE TO MATCH EXISTING. SEE SHEET A5.02.
14. INSTALL NEW IMPACT RESISTANT WOOD DOORS TO MATCH THE EXISTING. SEE SHEET A5.00 AND A5.01.
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- NEW DRYWALL PARTITION
- BRICK

5 LEGEND



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SUITE 400  
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FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

**EXISTING NORTH ELEVATION - SELECTIVE DEMO AND PROPOSED NORTH ELEVATION**

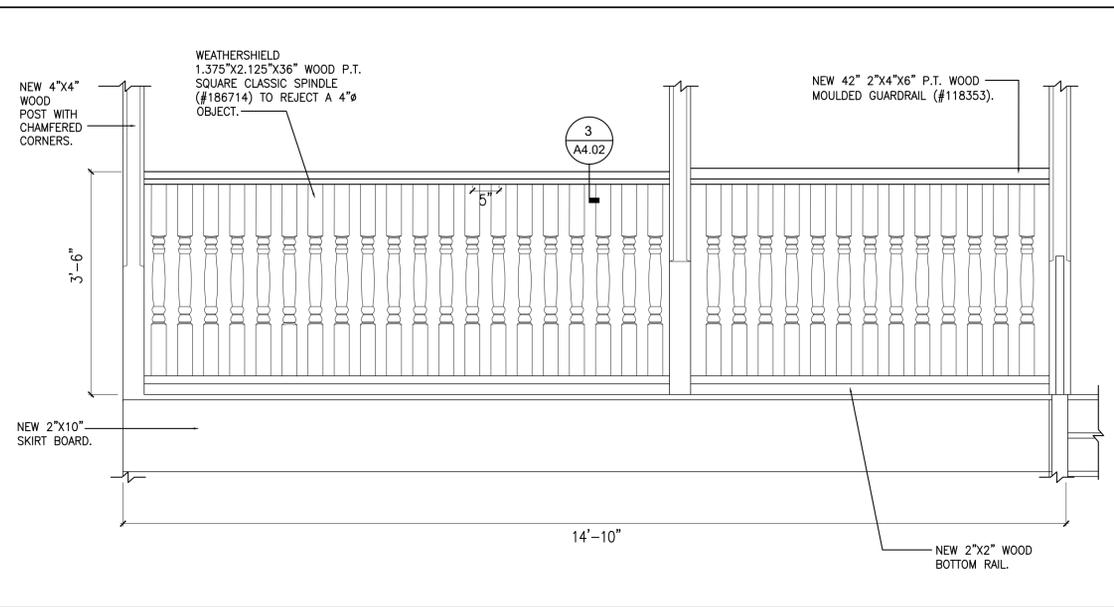
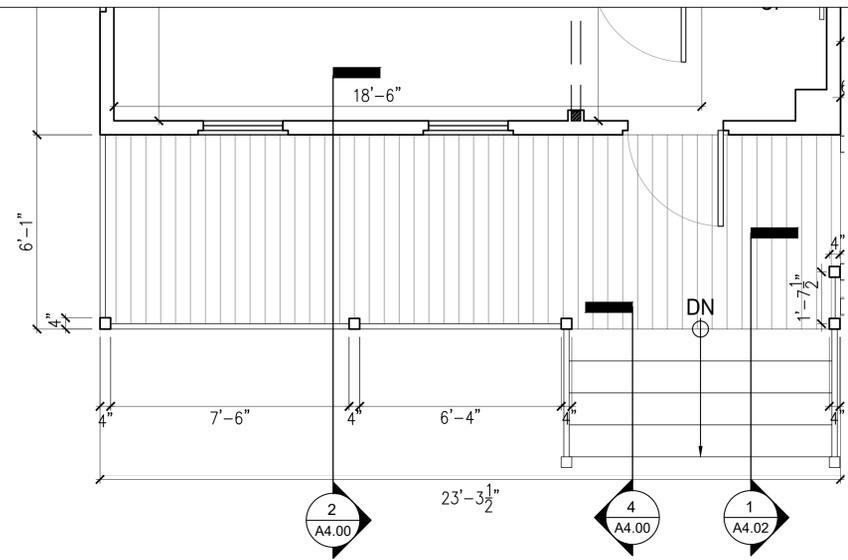
PROJECT NO. B-193404  
DRAWING NO.

A3.01



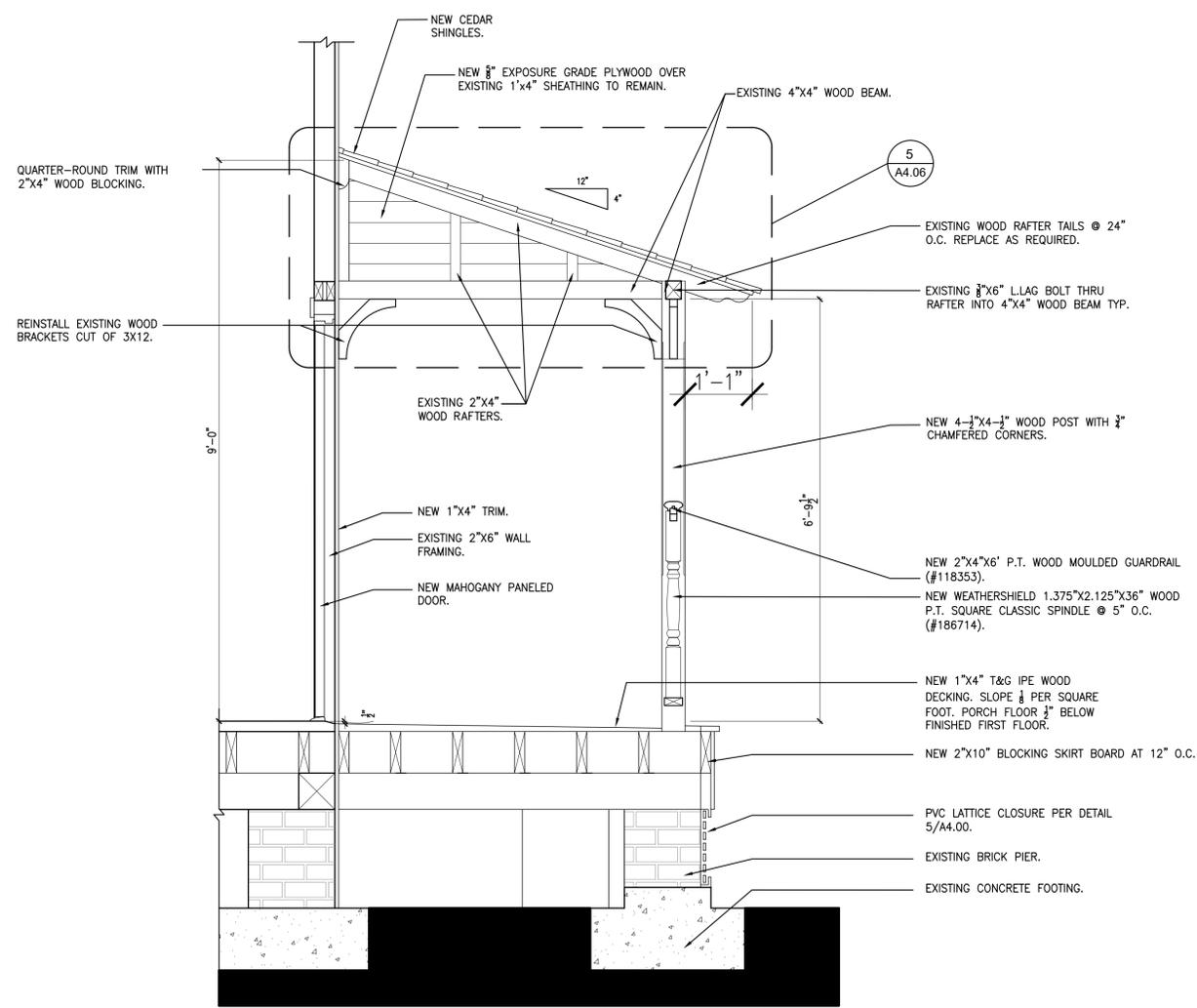




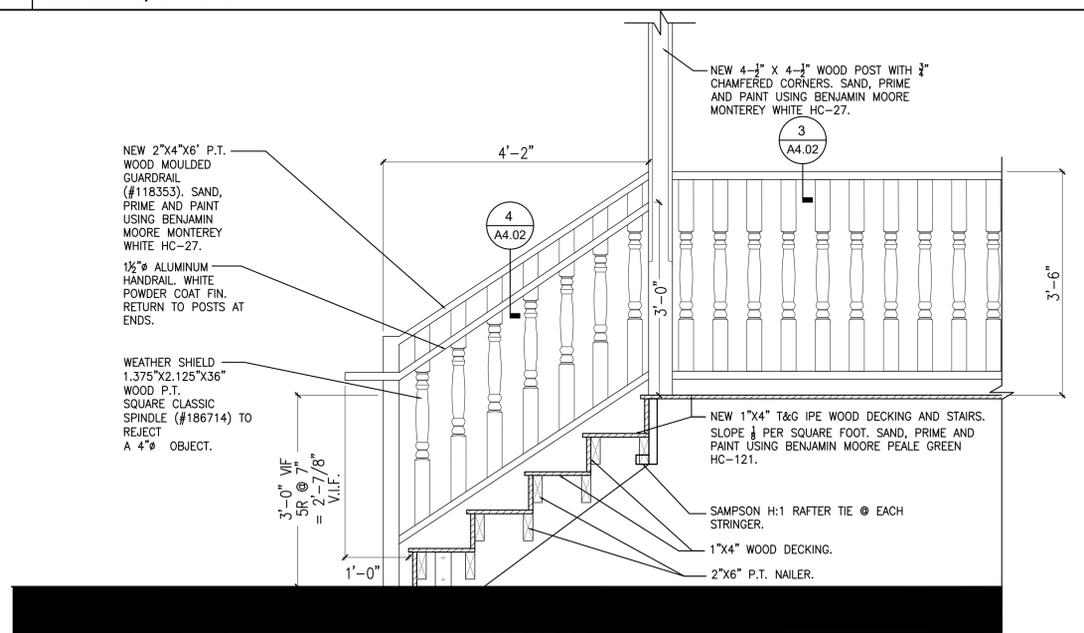


**1 ENLARGED PORCH PLAN**  
SCALE: 1/2" = 1'-0"

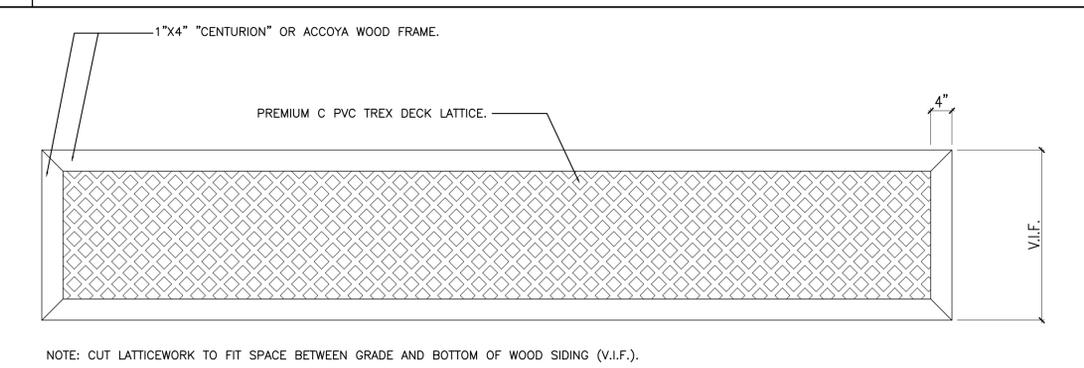
**3 PORCH GUARDRAIL DETAIL**  
SCALE: 3/4" = 1'-0"



**2 PORCH SECTION DETAIL**  
SCALE: 3/4" = 1'-0"



**4 EAST PORCH STAIR**  
SCALE: 3/4" = 1'-0"



**5 PORCH LATTICE DETAIL**  
SCALE: 3/4" = 1'-0"



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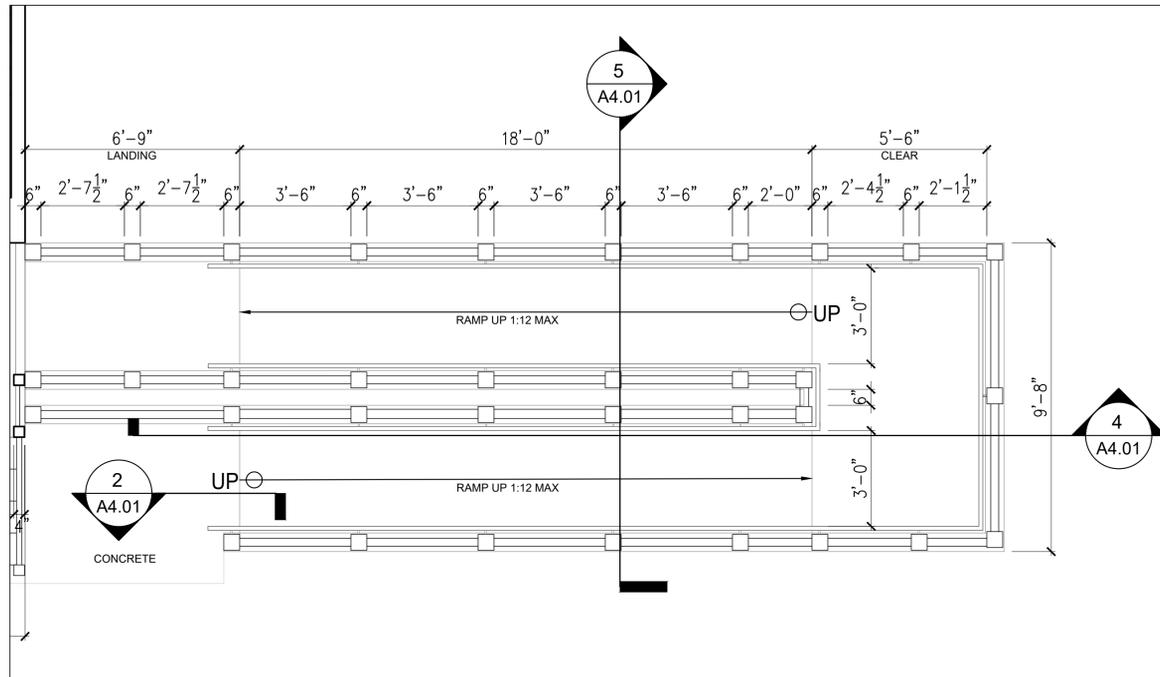
**EMTec CORPORATION**  
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**PORCH AND STAIR DETAILS**

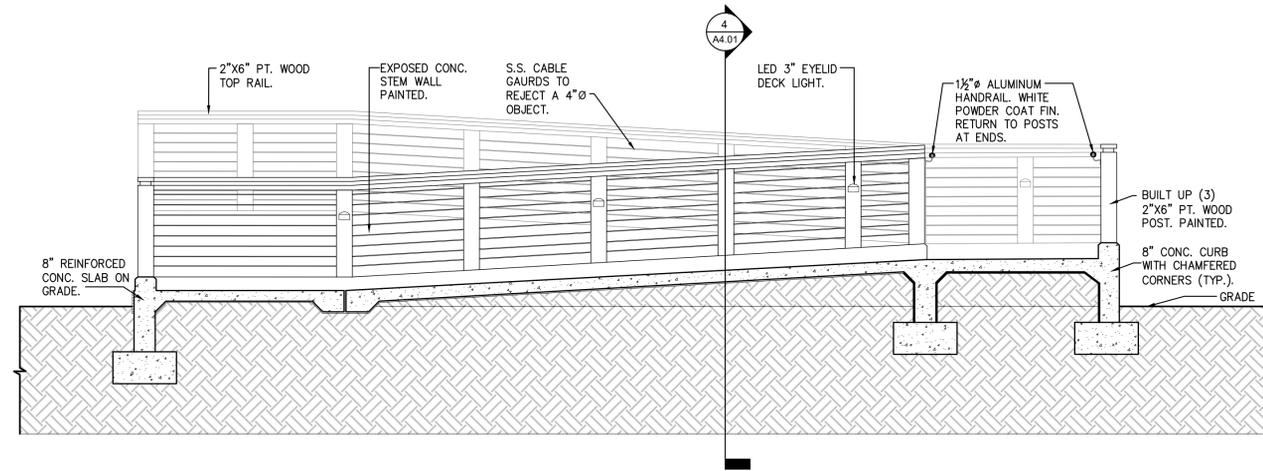
PROJECT NO. B-193404  
DRAWING NO.

**A4.00**



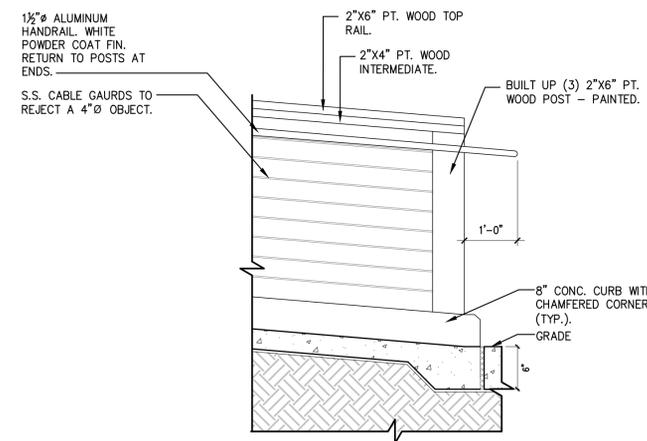
1 ENLARGED RAMP PLAN

SCALE: 3/8" = 1'-0"



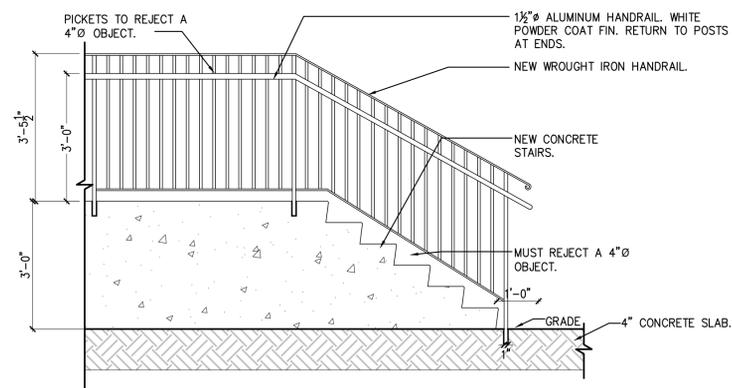
4 RAMP SECTION

SCALE: 3/8" = 1'-0"



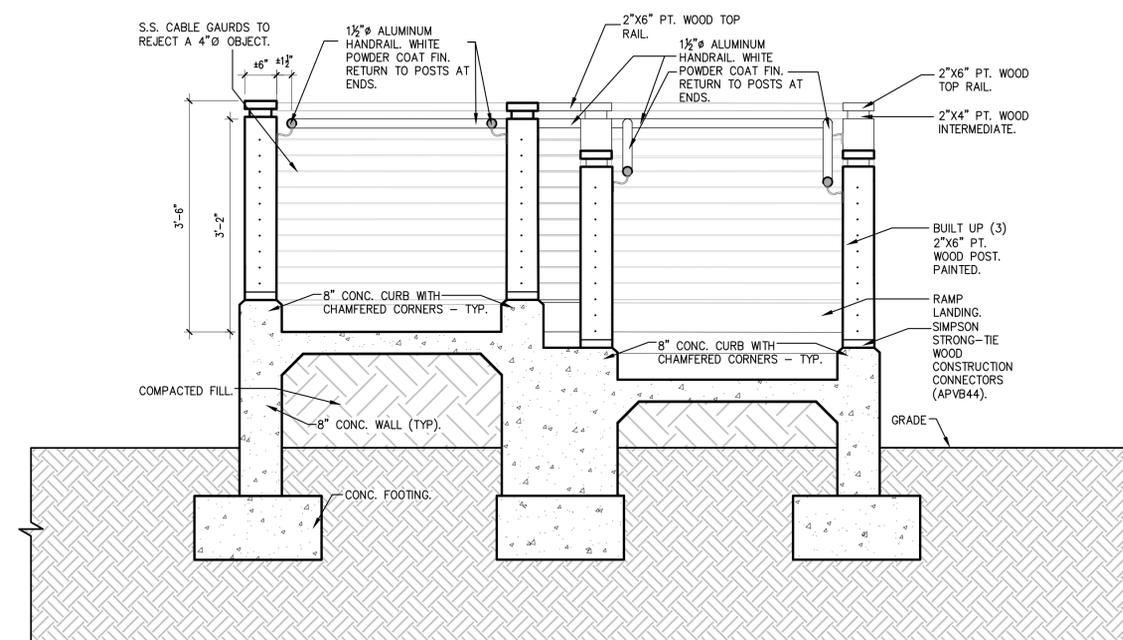
2 RAMP DETAIL

SCALE: 3/4" = 1'-0"



3 WEST STAIR DETAIL

SCALE: 1/2" = 1'-0"



5 RAMP CROSS SECTION

SCALE: 3/4" = 1'-0"



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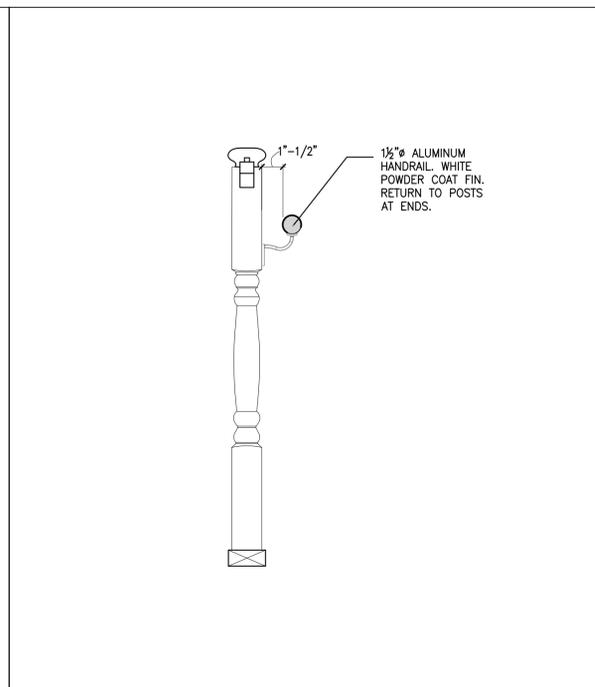
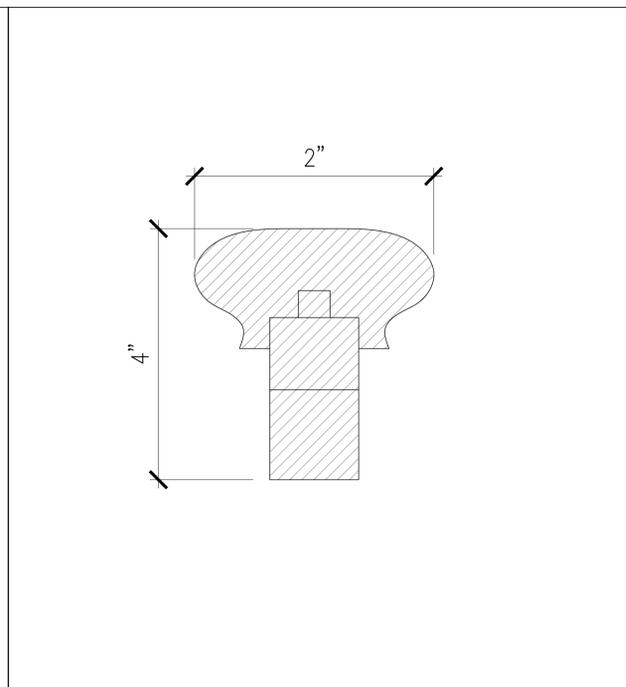
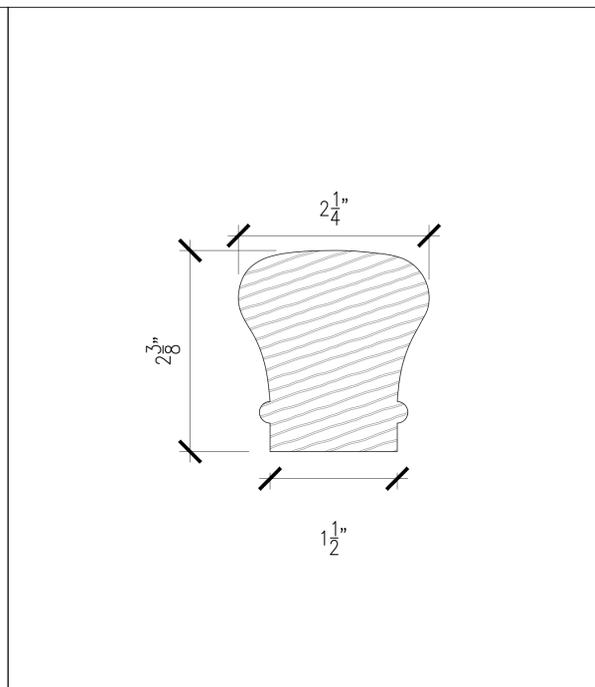
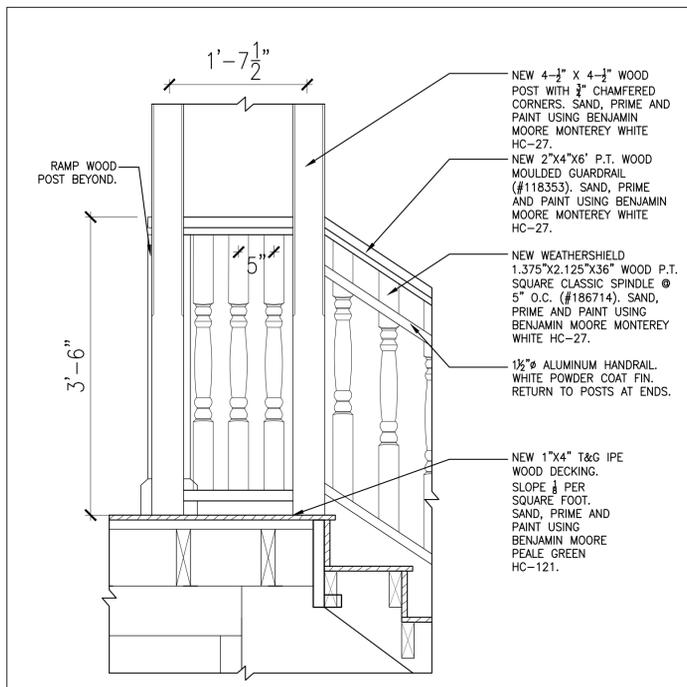
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SHEET TITLE

**ACCESSIBLE RAMP AND STAIR**

PROJECT NO. B-193404  
DRAWING NO.

A4.01

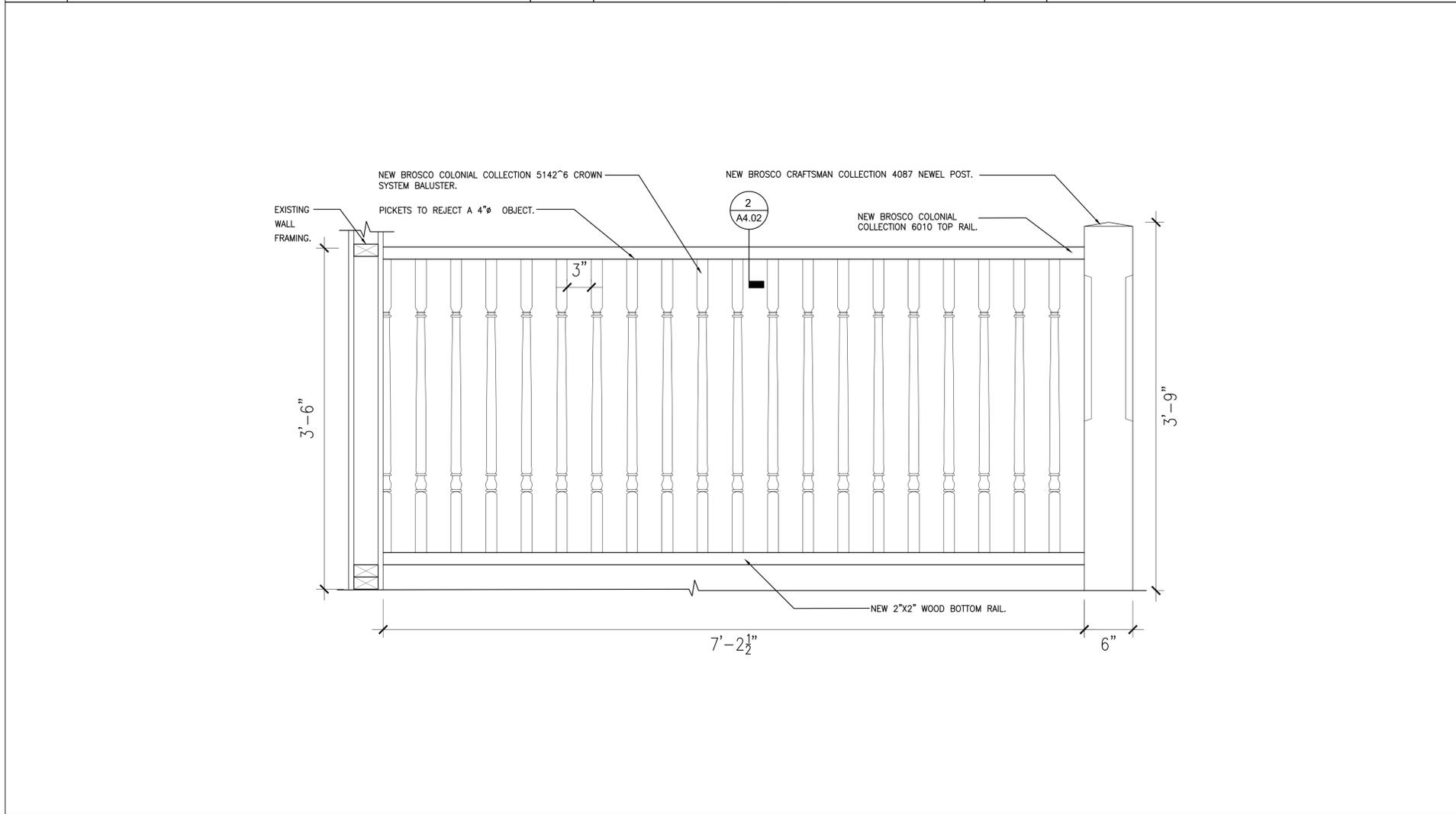


1 PORCH, STAIR AND RAMP DETAIL  
SCALE: 1' = 1'-0"

2 INT. HANDRAIL DETAIL  
SCALE: 1'-0" = 1'-0"

3 PORCH GUARDRAIL DETAIL  
SCALE: 1'-0" = 1'-0"

4 PORCH HANDRAIL DETAIL  
SCALE: 1-1/2' = 1'-0"



5 ENLARGED INTERIOR BALUSTRADE  
SCALE: 1-1/2' = 1'-0"



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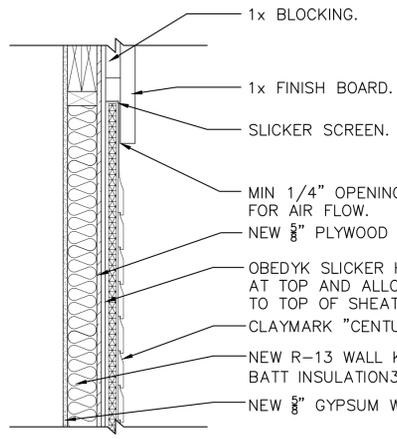
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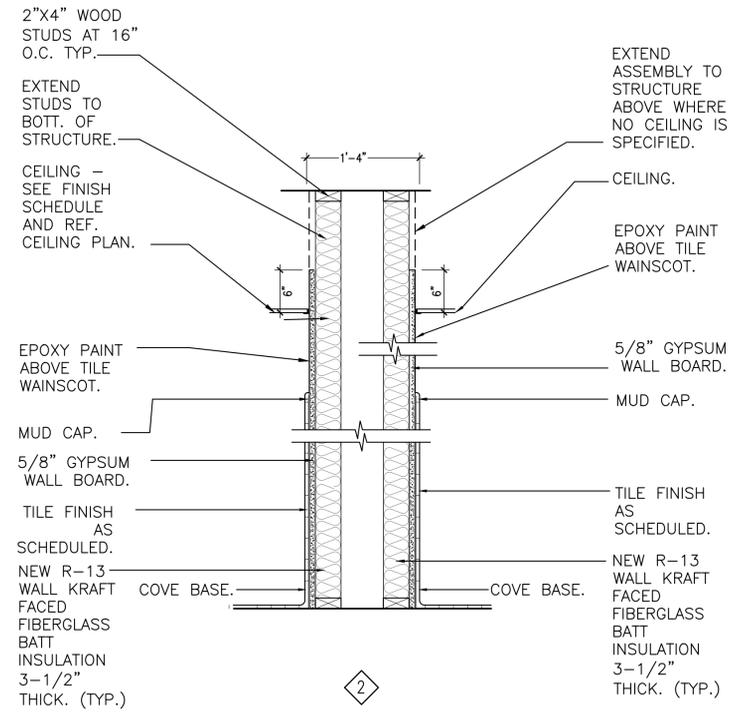
**ACCESSIBLE RAMP AND INTERIOR BALUSTRADE**

PROJECT NO. B-193404  
DRAWING NO.

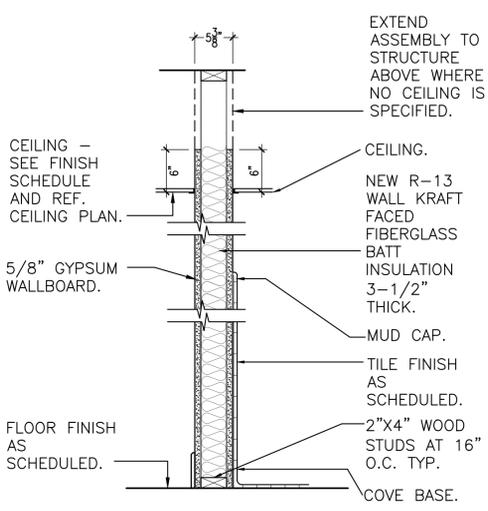
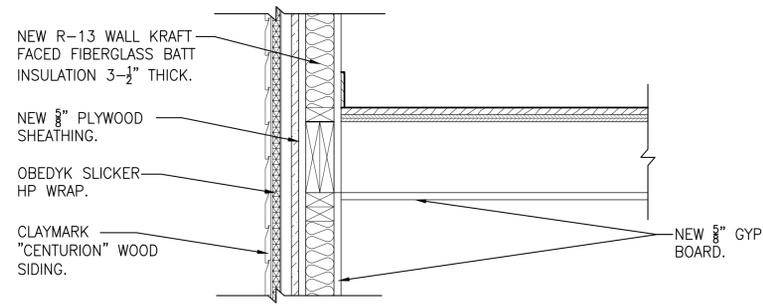
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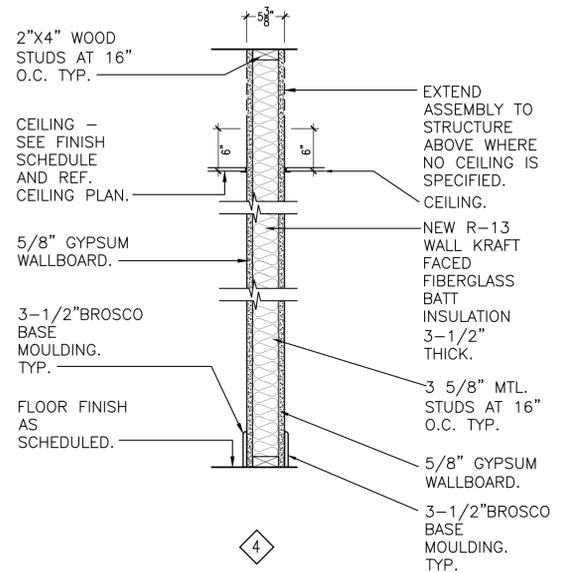
1  
NEW EXTERIOR WALL



2  
NEW INTERIOR CHASE WALL



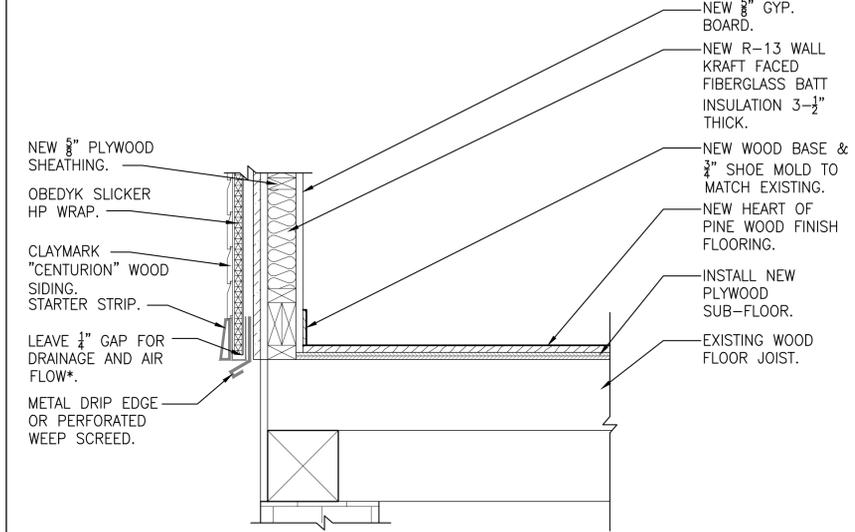
3  
NEW INTERIOR WALL



4  
NEW PARTITION WALL

2 CEILING/WALL DETAIL

SCALE: 1" = 1'-0"



3 FLOOR/WALL DETAIL

SCALE: 3" = 1'-0"



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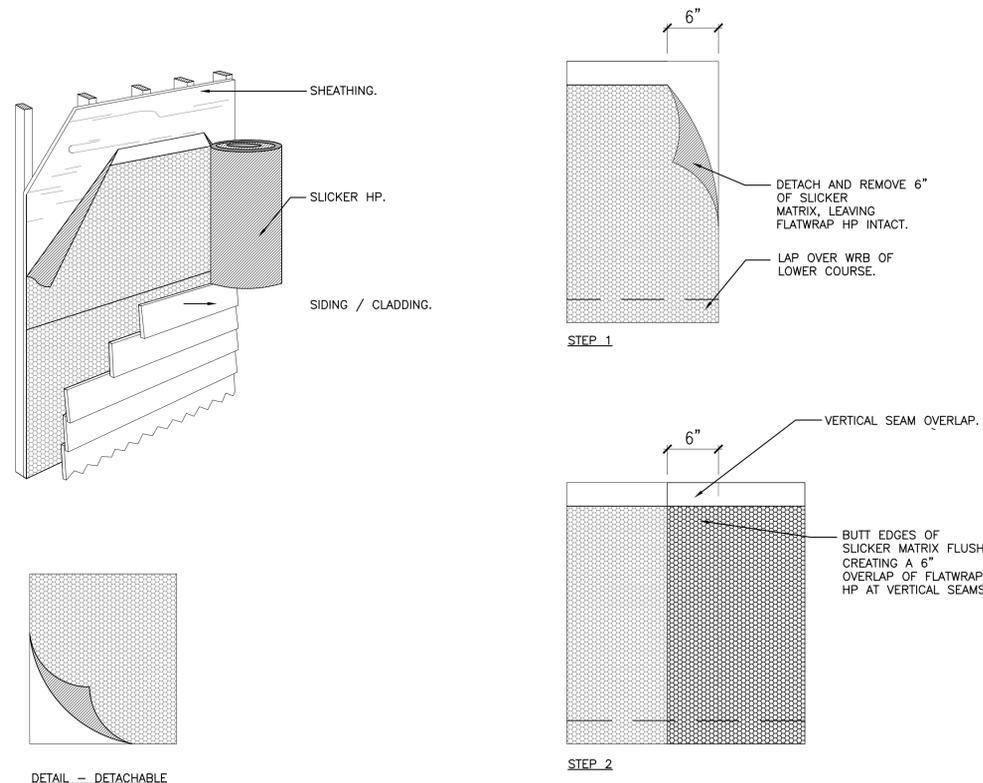
SHEET TITLE

WALL TYPES AND DETAILS

PROJECT NO. B-193404  
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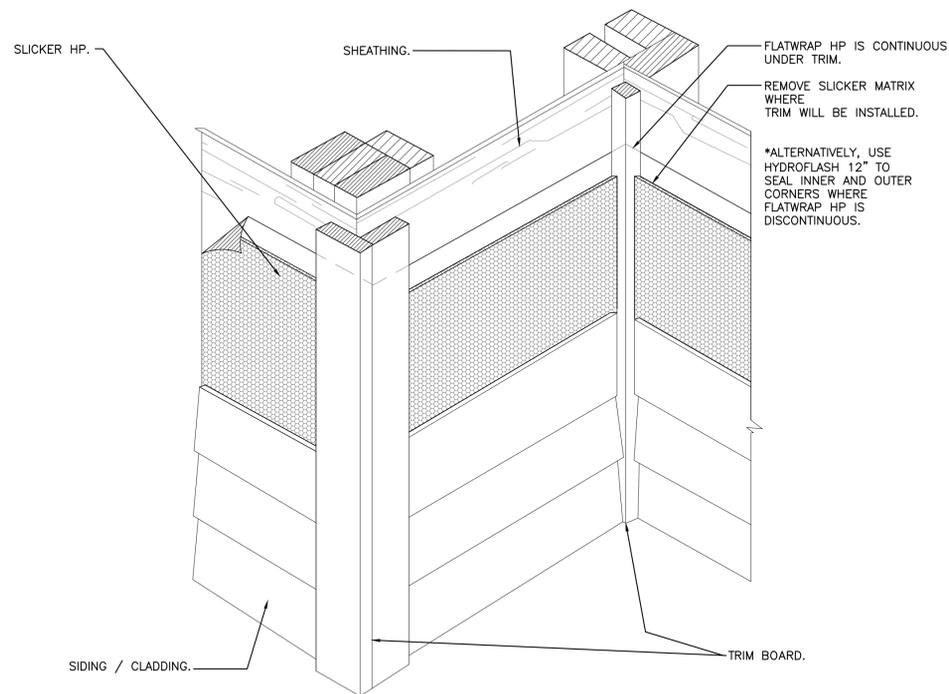
1 WALL TYPES

SCALE: 1" = 1'-0"



1 OBEDYK SLICKER HP WRAP GENERAL INSTALLATION

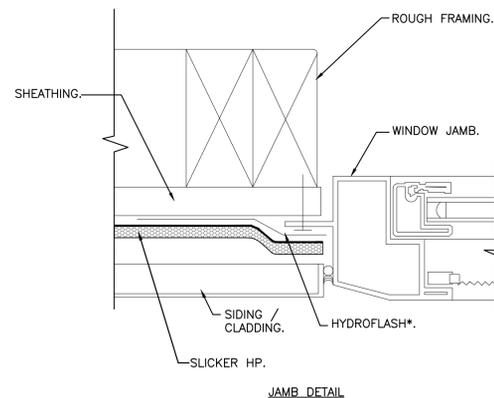
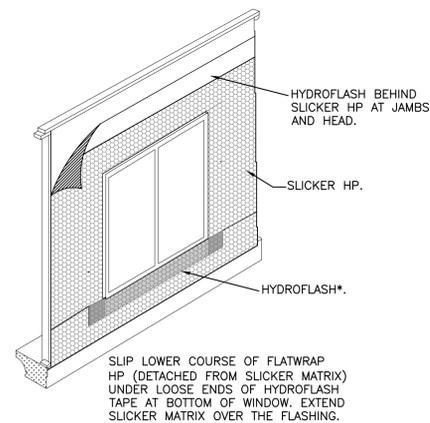
SCALE: 3/4" = 1'-0"



2 OBEDYK SLICKER HP WRAP CORNER DETAIL

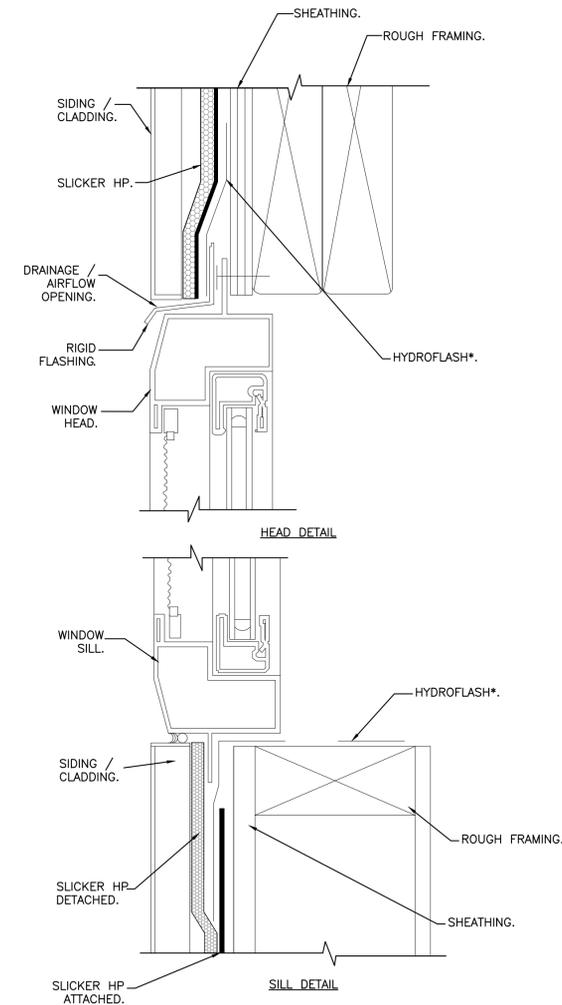
SCALE: 3/4" = 1'-0"

INSTALL WITH HIGHER COURSE OVERLAPPING FLATWRAP HP OF LOWER COURSE. SLICKER MATRIX CAN BE DETACHED FROM FLATWRAP FOR EASE OF WINDOW FLASHING INSTALLATION.



3 OBEDYK SLICKER HP WRAP WINDOW INSTALLATION DETAIL

SCALE: 3/4" = 1'-0"



FLAGLER WORKER'S HOUSE AT FORT DALLAS PARK

SELECTIVE DEMOLITION & RESTORATION  
60-64 SE 4TH ST. MIAMI, FL 33131

OWNER:  
**CITY OF MIAMI**  
444 SW 2ND ST. 8TH FLOOR  
MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

PROJECT TEAM

**WOOD/O'DONNELL & NACCARATO**  
PRIME CONSULTANT & STRUCTURAL ENGINEER  
5757 WATERFORD DISTRICT DRIVE, SUITE 255  
MIAMI, FLORIDA 33126  
TEL: 305-461-3450

**BISCAYNE ENGINEERING**  
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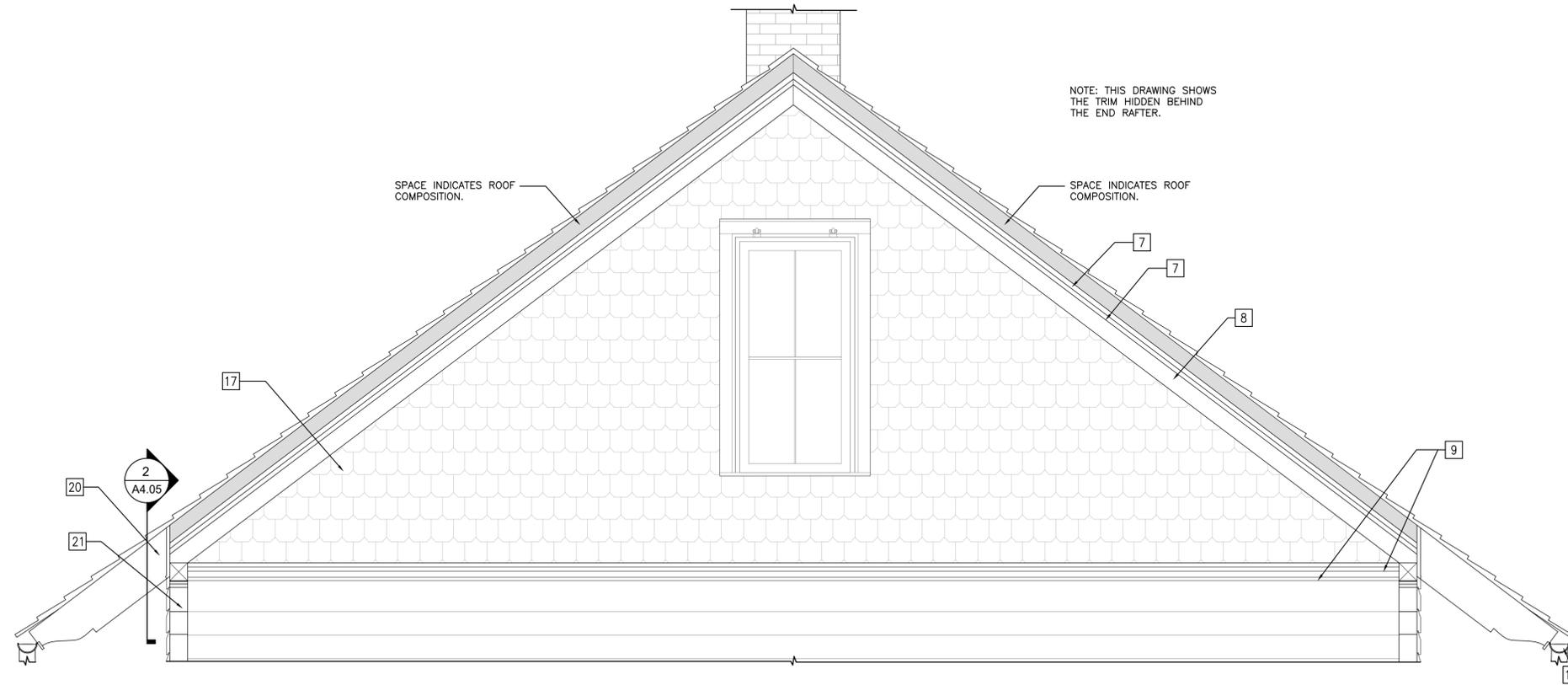
**EMTec CORPORATION**  
MECHANICAL ELECTRICAL AND PLUMBING ENGINEERS  
1550 MADRUGA AVENUE #408  
CORAL GABLES, FLORIDA 33146  
TEL: 305-461-3883

**RJ HEISENBOTTLE**  
ARCHITECTURE  
2199 PONCE DE LEON BLVD.  
SUITE 400  
CORAL GABLES, FL 33134  
TELEPHONE: 305-446-7799 FAX: 305-446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

WALL TYPES AND DETAILS

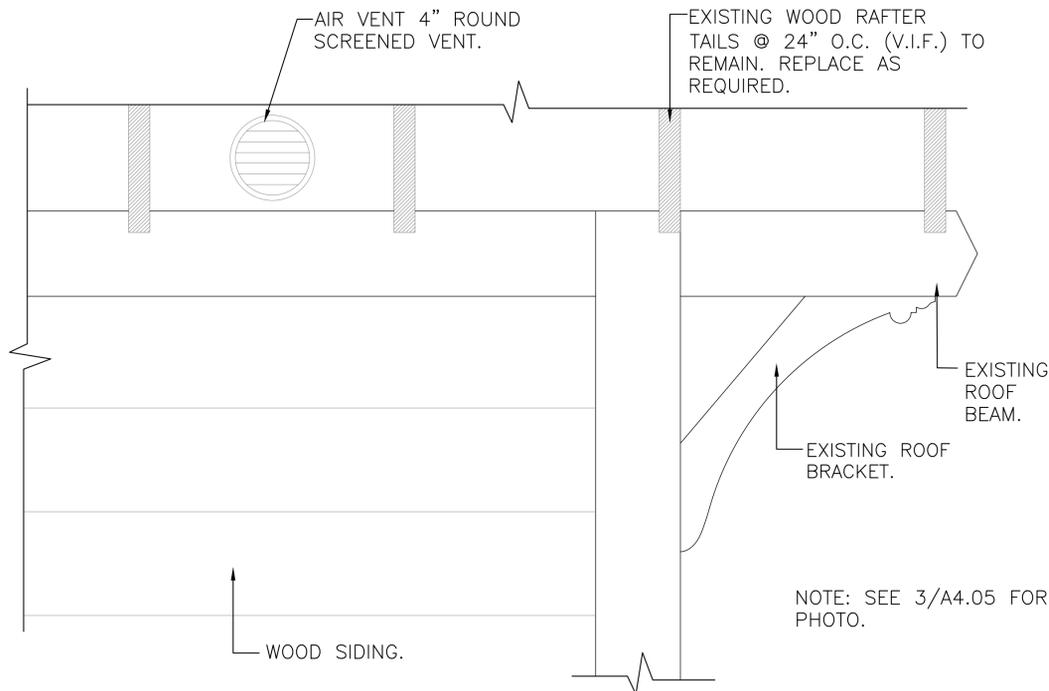
PROJECT NO. B-193404  
DRAWING NO.



**1 ENLARGED GABLE ROOF END SHOWING ROOF TRIM**

SCALE: 3/4" = 1'-0"

**3 DETAIL IMAGES**



**2 ROOF BRACKET AND VENT DETAIL**

SCALE: 3" = 1'-0"

- 19. INSTALL NEW TREX CPVC LATTICE BETWEEN BRICK FOUNDATION PIERS. SEE DETAIL 4 ON SHEET A4.02.
- 20. EXISTING WOOD RAFTER TAILS @ 24" O.C. (V.I.F.) TO REMAIN. REPLACE AS REQUIRED. RAFTER TAILS REQUIRING REPLACEMENT SEE DETAIL A ON A4.06.
- 21. INSTALL SALVAGED TRIM AND ROOF BRACKETS. INSTALL NEW TO MATCH EXISTING WHERE DAMAGED, BEYOND REPAIR OR BROKEN. PAINT BENJAMIN MOORE MONTEREY WHITE HC-27.
- 22. INSTALL NEW CLAYMARK "CENTURION" WOOD SIDING WITH TRUECORE PROTECTION TO MATCH EXISTING. PAINT BENJAMIN MOORE MARBLEHEAD GOLD HC-11.
- 23. REINSTALL INFORMATION PLAQUE.

**4 KEYNOTES**

SCALE: 1" = 1'-0"



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NO.	REVISIONS/SUBMISSIONS	DATE
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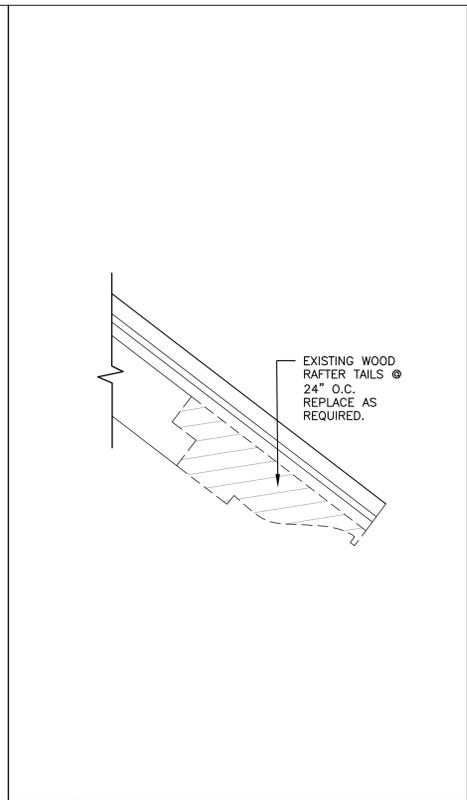
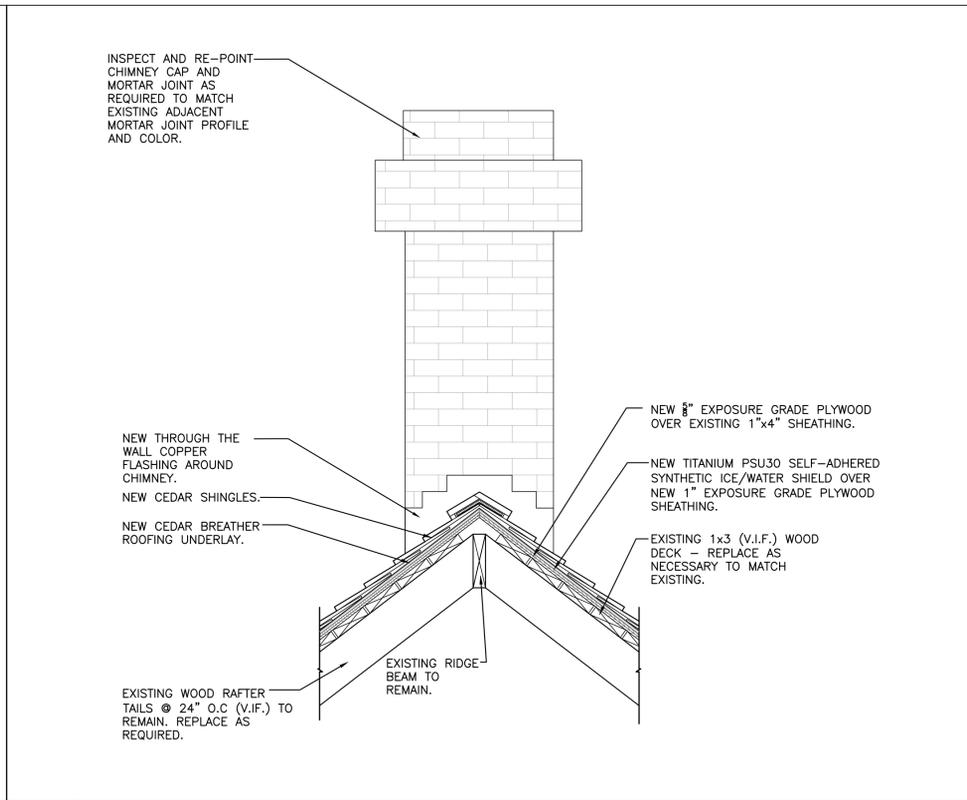
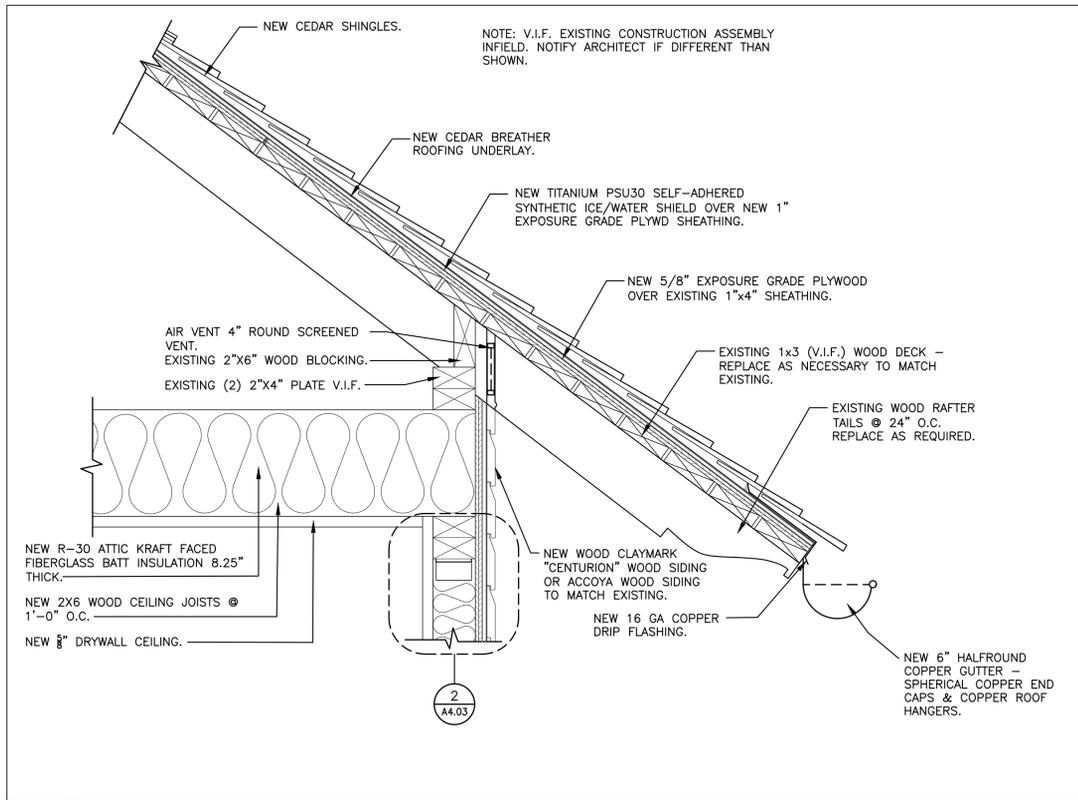
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FLORIDA REGISTRATION NUMBER: AR 0010865

SHEET TITLE

**ROOF DETAILS**

PROJECT NO. B-193404  
DRAWING NO.

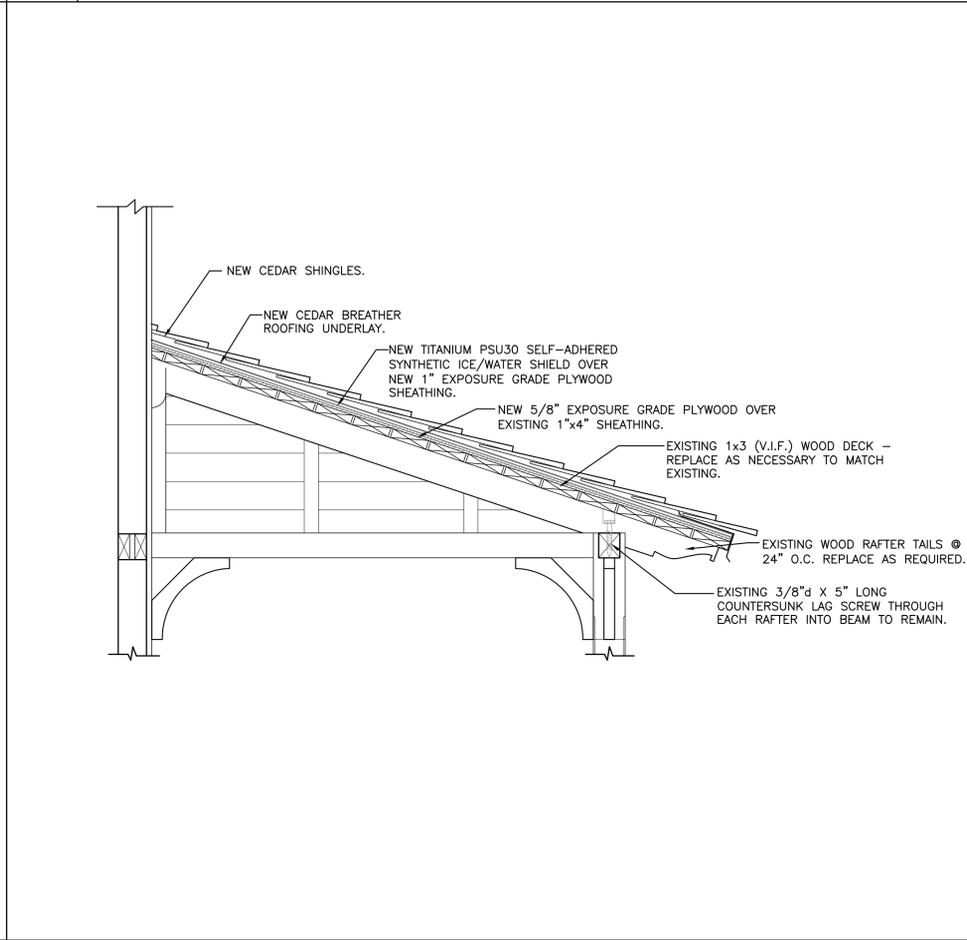
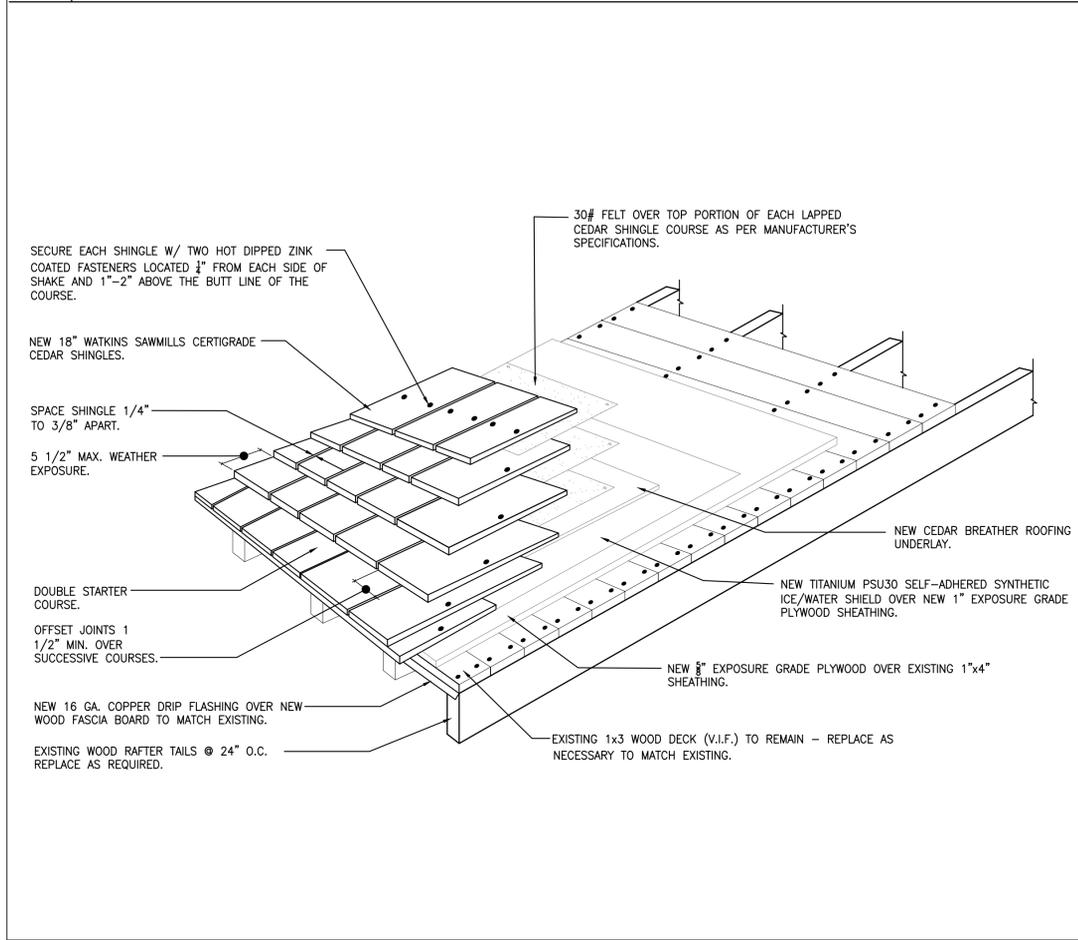
**A4.05**



**1 ROOF DETAIL**  
SCALE: 1-1/2" = 1'-0"

**2 ROOF RIDGE DETAIL**  
SCALE: 1" = 1'-0"

**3 RAFTER TAIL DETAIL**  
SCALE: 1-1/2" = 1'-0"



**OWENS CORNING ROOFING AND ASPHALT, LLC**  
1-800-438-7465  
WWW.OWENSCORNING.COM/EN-US

TITANIUM UDL25 UNDERLAYMENT  
NOA NO.: 22-0829.04  
EXPIRATION DATE: 08/08/2028

**WATKINS SAWMILLS LTD**  
1-800-663-8301  
WWW.WATKINSAWMILLS.COM/

CERTI-LAST CEDAR SHINGLES (GRADE 1)  
L18" X W6" TAS 100 / ASTM D 3462  
PRESERVATIVE TREATED RED CEDAR  
NOA NO.: 22-1202.04  
EXPIRATION DATE: 02/20/2028

**BUILDERS WAREHOUSE**  
1-800-509-0414  
WWW.BUILDERSWAREHOUSE.COM

BENJAMIN OBDYKE CEDAR BREATHER

**JOHNS MANVILLE CORPORATION**  
WWW.JM.COM

MODIFIED BITUMEN ROOFING SYSTEM OVER WOOD DECKS.  
DYNAGLAS 30 FR CAP SHEET  
NOA NO.: 21-0303.20  
EXPIRATION DATE: 07/19/2026

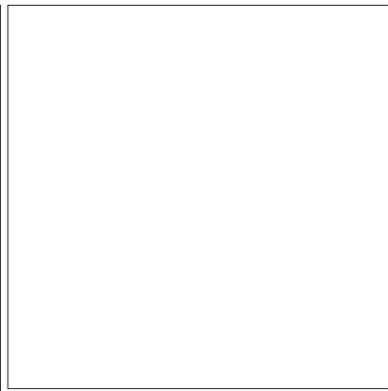
**GAF**  
WWW.GAF.COM/EN-US

VERSASHIELD FIRE RESISTANT ROOF DECK PROTECTION  
NOA NO.: 21-1027.02  
EXPIRATION DATE: 02/07/2027

**4 ROOF INSTALLATION DETAIL**  
SCALE: 3" = 1'-0"

**5 ROOF DETAIL AT PORCH**  
SCALE: 1" = 1'-0"

**6 NOA INFORMATION**



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MIAMI, FLORIDA 33130-1910

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**

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SHEET TITLE

**ROOF DETAILS**

PROJECT NO. B-193404  
DRAWING NO.

**A4.06**

### STANDARD RESTROOM FIXTURES AND ACCESSORIES

LABEL	ACCESSORY	MANUF. OR APPROVED EQUAL- MODEL NO.	MOUNTING METHOD	MOUNTING HEIGHT FROM FINISHED FLOOR	REMARKS
(A)	FLOOR MOUNTED TOILET	AMERICAN STANDARD	FLOOR	48" TO TOP OF UNIT	SEE PLUMBING DWGS.
(B)	WALL-MOUNTED SINK	KOHLER	SURFACE	73" TO TOP OF FRAME	SEE PLUMBING DWGS.
(C)	TOILET TISSUE DISPENSER	BOBRICK B-2888	SURFACE	26" TO TOP OF UNIT	
(D)	PAPER TOWEL DISPENSER	BOBRICK B3-944	SURFACE	70" FROM FINISH FLOOR	
(E)	MIRROR	AMERICAN STANDARD MODEL # TU061508.002	SURFACE	73" TO THE T.O. FRAME	
(F)	LINEAR VANITY LIGHT	WESTINGHOUSE	SURFACE		SEE LIGHTING DWGS.
(G)	RECESSED CEILING LIGHT		SURFACE		SEE LIGHTING DWGS.
(H)	CHANGING TABLE	KOALA KARE KB301-05SS	SURFACE		
(I)	GRAB BAR	BOBRICK B-5806	SURFACE		
(J)	WALL SOAP DISPENSAR	BOBRICK B-4112	SURFACE		

### RESTROOM FINISH SCHEDULE

LABEL	DESCRIPTION	MANUFACTURER/MODEL #	COLOR	FINISH	REMARKS
FT -1	1" HEXAGON FIELD FLOOR TILE	EXISTING TILE TO BE RESTORED		UNGLAZED PORCELAIN	FIELD FLOOR TILE
FT -2	2"X2" BORDER FLOOR TILE	AMERICAN RESTORATION TILE MODEL # 2X2 ART	1910 WHITE	UNGLAZED PORCELAIN	BORDER FLOOR TILE ALONG WALL PERIMETER
WT-1	6"X6" SANITARY COVE BASE WALL TILE	SUBWAY CERAMICS MODEL # 66CB00	10 WHITE	GLAZED	INSTALL RELATED RADIUS TRIMS AND CORNER TRIMS
WT -2	6"X6" FIELD WALL TILE	SUBWAY CERAMICS MODEL # 36FT00	10 WHITE	GLAZED	INSTALL RELATED RADIUS TRIMS AND CORNER TRIMS
WT -3	1-1/2X6 "P" CAP MOLDING TILE	SUBWAY CERAMICS MODEL # 16PS00	10 WHITE	GLAZED	INSTALL RELATED RADIUS TRIMS AND CORNER TRIMS
	FLOOR TILE GROUT	LATICRETE INTERNATIONAL, INC SPECTRALOCK PRO GROUT	44 BRIGHT WHITE		STAIN RESISTANT. 10 YEAR WARRANTY. CAULKING AT TILE COVES AND CORNERS SHALL BE LATICRETE LATASIL

1 SCHEDULE

SCALE: 3/4" = 1'-0"



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NO.	REVISIONS/SUBMISSIONS	DATE
	100% Review Submission	11/03/23

### PROJECT TEAM

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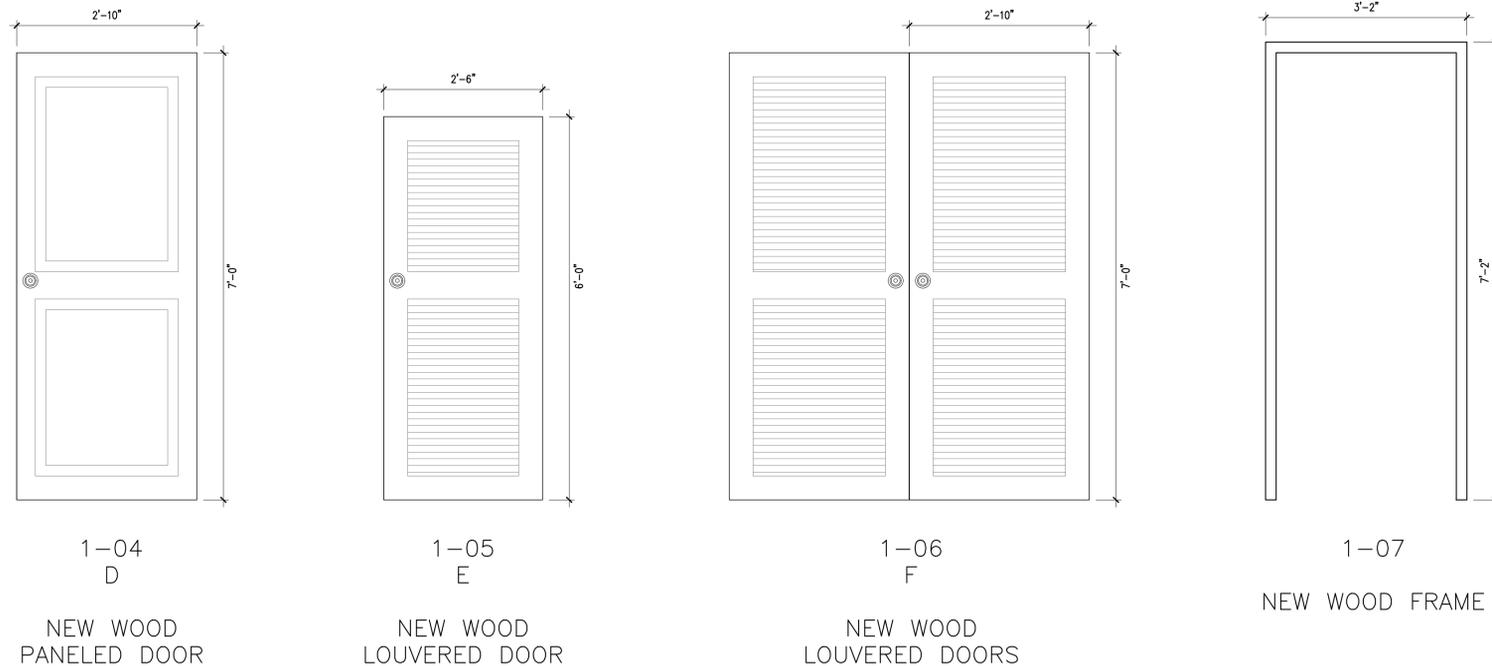
SHEET TITLE

### PROPOSED BATHROOM DETAILS AND ELEVATIONS

PROJECT NO. B-193404  
DRAWING NO.

A4.08





PROPOSED INTERIOR DOOR NOTES:

- G.C. SHALL BE RESPONSIBLE FOR CALCULATING QUANTITIES.
- DOOR OPENINGS MAY VARY. FIELD VERIFY ALL WOOD FRAME WALL OPENINGS PRIOR TO ORDERING NEW REPLACEMENT DOORS.
- PROVIDE SHOP DRAWINGS SHOWING ALL DOOR AND INSTALLATION DETAILS FOR ARCHITECT'S REVIEW AND APPROVAL. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO SUBMITTAL OF SHOP DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH EXISTING CONDITIONS.
- BASE OF 2-PANEL DOOR DESIGN: BROSCO OPEN LOUVRE - 1-1/4" LOUVRE PINE P-730
- BASE OF LOUVRE DOOR DESIGN: BROSCO PRIMED PANEL DOOR - FLAT PANEL PR-22S



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**1 PROPOSED INTERIOR DOOR TYPES**

**2 KEYNOTES**

SCALE: 3/4" = 1'-0"

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

**PROJECT TEAM**



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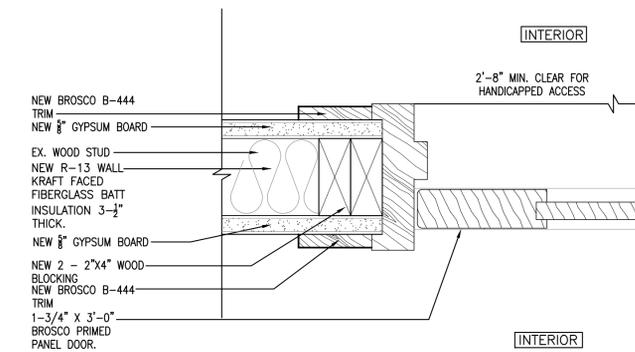
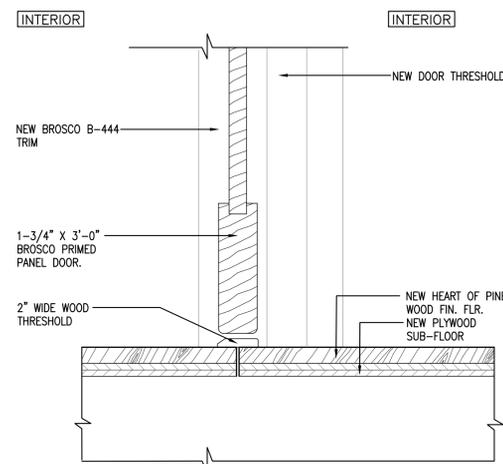
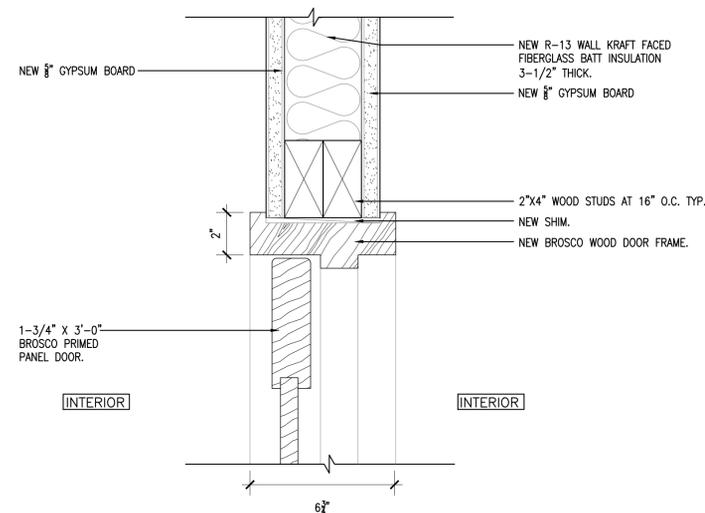
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SHEET TITLE

**PROPOSED INTERIOR DOOR TYPES AND DETAILS**

PROJECT NO. B-193404  
DRAWING NO.

A5.01



**3 WOOD DOOR HEAD DETAIL**

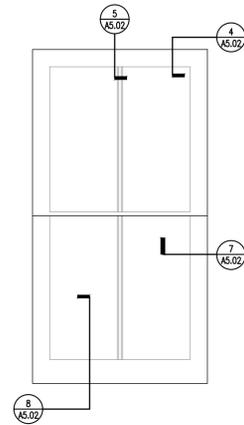
**4 WOOD DOOR JAMB DETAIL**

**5 WOOD DOOR SILL DETAIL**

SCALE: 3" = 1'-0"

SCALE: 3" = 1'-0"

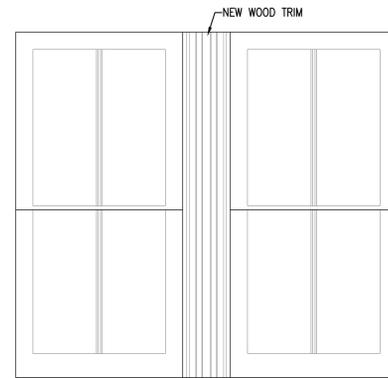
SCALE: 3" = 1'-0"



TYPE A

NEW ALUMINUM CLAD WOOD DOUBLE HUNG WINDOW

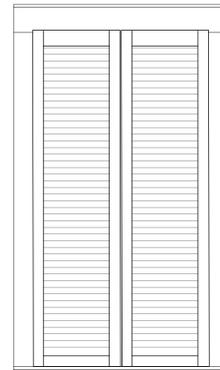
CCL TEST REPORT #: ESP020120P-1728.2



TYPE B

NEW ALUMINUM CLAD WOOD WINDOW

CCL TEST REPORT #: ESP020120P-1728.2



TYPE C

NEW WOOD SHUTTERS



S1-A

NEW WOOD WINDOW SCREEN

WINDOW SCREEN AND SHUTTER RESTORATION NOTES:

1. REMOVE PEELING OR FLAKING PAINT AS REQUIRED USING A PUTTY KNIFE, PAINT SCRAPER, SANDPAPER, OR SANDING BLOCK. SCRAPING SHOULD BE DONE WITH CARE TO AVOID GAUGING THE WOOD. SANDING SHOULD BE DONE WITH THE GRAIN.
2. WIPE ALL SURFACES CLEAN PRIOR TO APPLYING PRIMER COAT AND FINISH PAINT COAT. COLOR TO MATCH EXISTING.
3. CLEAN ALL EXISTING HARDWARE USING A SOLVENT LIKE MINERAL SPIRITS AND WIRE OR HEAVY DUTY NYLON BRUSH TO GOOD WORKING ORDER.
4. REPLACE BROKEN, MISSING OR DAMAGED SHUTTER HARDWARE (LATCHES, S-HOOKS) TO MATCH EXISTING.
5. BASE OF SHUTTER DESIGN: BROSCO CLASSIC COLLECTION STANDARD FAUX LOUVRE.

PROPOSED WINDOW NOTES:

1. G.C. SHALL BE RESPONSIBLE FOR CALCULATING QUANTITIES.
2. WINDOW OPENINGS MAY VARY. FIELD VERIFY ALL WOOD FRAME WALL OPENINGS PRIOR TO ORDERING NEW REPLACEMENT WINDOWS.
3. PROVIDE SHOP DRAWINGS SHOWING ALL WINDOW AND INSTALLATION DETAILS FOR ARCHITECT'S REVIEW AND APPROVAL. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO SUBMITTAL OF SHOP DRAWING. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH EXISTING CONDITIONS.
4. ALL WINDOWS SHALL BE ALUMINUM CLAD WOOD WINDOWS. COLOR TO BE SELECTED BY ARCHITECT UPON SUBMITTAL OF FULL COLOR SELECTIONS OF AVAILABLE COLORS.
5. PROVIDE JAMB COVERS FOR EXTERIOR, COLOR TO MATCH WINDOW.
6. PROVIDE SASH LOCKS - FINISH TO MATCH EXISTING.
7. NOT ALL WINDOW DETAILS MAY BE USED. REFERENCE TYPICAL WINDOW DETAIL LOCATION.
8. BASE OF WINDOW DESIGN: WEATHERSEILD PREMIUM COASTAL SERIES DOUBLE HUNG WINDOW.



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MIAMI, FLORIDA 33130-1910

1 PROPOSED WINDOW TYPES

SCALE: 3/4" = 1'-0"

2 KEYNOTES

NO.	REVISIONS/SUBMISSIONS	DATE
	CONSTRUCTION DOCUMENTS PROGRESS SET	1/12/23

PROJECT TEAM



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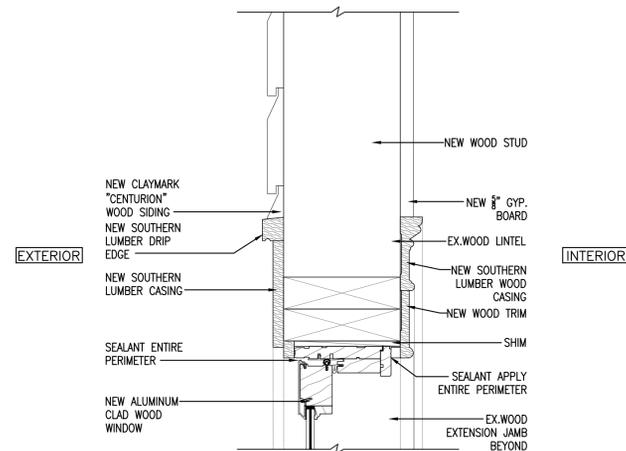
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SHEET TITLE

PROPOSED WINDOW TYPES AND DETAILS

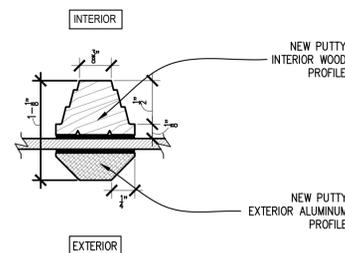
PROJECT NO. B-193404  
DRAWING NO.

A5.02



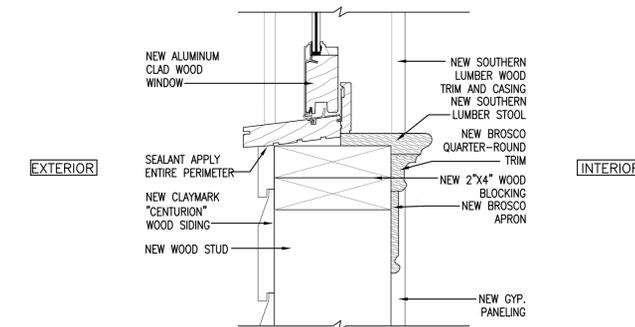
3 ALUMINUM CLAD WOOD WINDOW HEAD

SCALE: 3" = 1'-0"



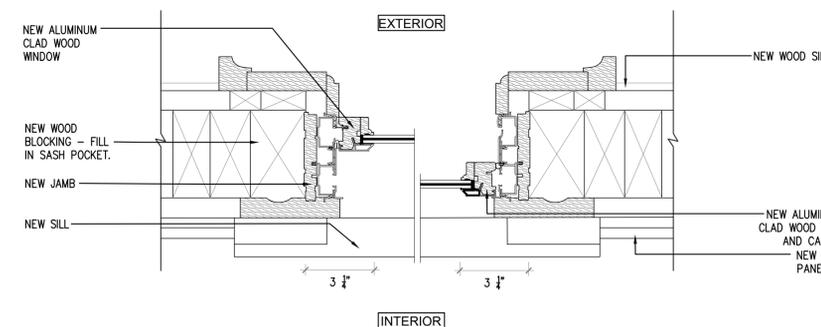
4 MUNTIN DETAIL

SCALE: 1" = 1'-0"



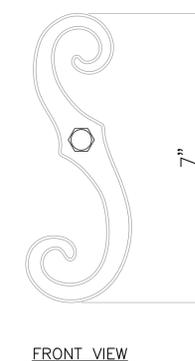
6 ALUMINUM CLAD WOOD WINDOW SILL

SCALE: 3" = 1'-0"



5 ALUMINUM CLAD WOOD WINDOW JAMB

SCALE: 3" = 1'-0"



7 SHUTTER S-HOOK DETAIL

SCALE: 1/2" = 1'-0"